

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 448 Park Avenue, Yuba City

P1. Other Identifier: _____
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; _____ % of _____ % of Sec _____ ; B.M. _____
c. Address 448 Park Avenue City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
APN: 52-341-002
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The single-family residence at 448 Park Avenue in Yuba City was constructed in 1948 with Dutch Colonial Revival influences. The building is located near the front of the parcel on the west side of Park Avenue facing east within a residential neighborhood.

This one-story residence has a rectangular floor plan. The façade is asymmetrical and the building sits on a concrete foundation. The residence has a wood-framed structural system and an exterior clad in horizontal wood siding. The building is covered by a side-gabled gambrel roof clad with composition shingles. A shed roof is attached to the east side (façade) of the roof and the western section of the roof is covered by a steeply-pitched hipped roof. The moderately-overhanging eaves are open with exposed rafters. A stone chimney is located on the south gable wall.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property
*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):
*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southwest at the façade, April 24, 2006

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
1948, Sutter County Assessor

*P7. Owner and Address:
Kimberly Calton
448 Park Avenue
Yuba City, CA 95991

*P8. Recorded by: Name, affiliation, and address)
Laura Gallegos
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: April, 2006

*P10. Survey Type: (Describe)
☐ Intensive ☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Sutter County Historic Survey (Galvin Preservation Associates, 2005-2007)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 448 Park Avenue, Yuba City

Recorded By: Laura Gallegos

Date: April, 2006

☒ Continuation

☐ Update

(continued from page 1)

*P3a. Description:

The primary entrance is located at the façade and consists of a wood paneled door with two long brackets and a square metal peephole. The stoop is very rudimentary and made of wood planks. Other entrances could not be observed. The façade has two windows hung as a pair, located south of the main entrance; they consist of two six-over-one double-hung wood-sash windows with faux shutters. Windows on the other elevations consist of double-hung wood-sash windows. Other windows throughout the residence include a bay window located on the north elevation.

Landscaping elements include a front lawn and mature trees. Other features include a gravel-covered walkway leading to the front entrance and a dirt driveway to the north leading to a detached garage.

Alterations to the building include possible modifications made to the façade. The condition of the building is good.



View looking southwest at the north elevation



View looking northwest at the south elevation

DISTRICT RECORD

Page 1 of 8

***NRHP Status Code**

D1. Historic Name: Plumas Street downtown commercial district

D2. Common Name: same

***D3. Detailed Description:** (Describe overall coherence of the district, its setting, visual characteristics, and minor features. List all elements of district):

The Plumas Street downtown commercial district is composed of 56 buildings and one water tank located along Plumas Street. Most of the buildings within this downtown area were built or heavily remodeled between the 1920s and the 2000s. The district is situated between Colusa Avenue to the northeast and Bridge Street to the southwest, and also includes Center Street between Plumas and Shasta Streets. This area is located approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is generally flat. The parcels on the east side of Plumas Street are rectangular in shape, whereas those on the west side of the street are at a diagonal and parallelogram in shape. The asphalt paved Plumas Street has a combination of parallel and diagonal parking. Center Street is also paved with asphalt, although it only has diagonal parking located at the center of the street. Both streets have concrete sidewalks.

There is a building and structure that predate the downtown era of Plumas Street. They are a two-story Queen Anne single-family residence (Teegarden-Mosburg House) at 731 Plumas Street (built in 1880) and the city's water tank (built in circa 1908). The water tank is no longer being used to store water; instead there is a small park located at its base. Plumas Street is typical of a rural downtown district with a United States post office (built in 1939 with a 1960s addition), local movie theater (Sutter Theatre built in 1950) and the abovementioned water tank. Most of the other buildings located along Plumas and Center Streets were constructed over a period of decades starting in the 1920s.

***D4. Boundary Description** (Describe limits of district and attach map showing boundary and district elements.):

The district mainly consists of Plumas Street bounded by Colusa Avenue to the north and Bridge Street to the south, along with Center Street to the east located between Plumas and Shasta Streets.

***Boundary Justification:**

The boundary chosen for this evaluation are justified because they are those of the Plumas Street downtown commercial district.

***D6. Significance: Theme** Downtown Yuba City**Area** Yuba City**Period of Significance** 1920s-1961**Applicable Criteria** N/A

(Discuss district's importance in terms of its historical context as defined by theme, period of significance, and geographic scope. Also address the integrity of the district as a whole.)

Plumas Street gradually developed as Yuba City's downtown district beginning in the 1920s. However, the original commercial core for the city was Second Street (generally between Bridge and C Streets) near the Feather River. Typical of a downtown of that era, Second Street had a Masonic Hall, Independent Order of Odd Fellow (I.O.O.F.) Hall, hotel (Windsor Hotel), drug store, cigar stores, grocery store and Chinese laundry. Because Yuba City was also the county seat, the Sutter County Courthouse and the Hall of Records (1891) were constructed on the west side of Second Street between B and C Streets. The first Courthouse was built in 1858 and destroyed by fire in 1871. The second courthouse was destroyed by fire in 1899. Another one was built soon thereafter with only minor changes to the 1877 design. The Courthouse and the Hall of Records buildings still stand today.

***D7. References** (Give full citations including the names and addresses of any informants, where possible):

See page 4

***D8. Evaluator:** Christeen Taniguchi**Date:** March 1, 2006**Affiliation and Address:** Galvin Preservation Associates, Inc., 1611 South Pacific Coast Highway, Suite 104, Redondo Beach, CA 90277

CONTINUATION SHEET

Page 2 of 8

*Resource Name or # (Assigned by recorder) Plumas Street downtown commercial district

Recorded By: Christeen Taniguchi

Date: March 1, 2006

☒ Continuation

☐ Update

A fire in 1907 devastated the main business district on Second Street. It began the Windsor Hotel as an oil fire in the kitchen. Most of the buildings on the southwest side of Second between Bridge and B were destroyed. The Yuba City Water Works building also burned which meant there was no water to fight the fire. The Courthouse and Hall of Records, however, were spared. Yuba City never anticipated a fire of that magnitude, and therefore was not properly equipped for one. The Marysville department came to put out the blaze using water pumped from the Feather River.

As a result of the fire, the city was incorporated in Sutter County on January 23, 1908. Damaged or destroyed buildings were rebuilt along Second Street. Improving the water works became the first item on the city's agenda when they incorporated. Water pumps were immediately installed under the existing water tank on the corner of Reeves Avenue and Plumas Street. Located at the south end of the future Plumas Street commercial district, this became Yuba City's Pumping Station. The water pumps were later replaced by a fire station in 1924, which in turn was also later demolished.

By the 1920s, Plumas Street between Colusa Avenue and Bridge Street was gradually becoming Yuba City's new downtown commercial district. Buildings destroyed by the 1907 fire were rebuilt, but this was not enough to reestablish Second Street as the downtown core. In addition to the general westward momentum of the city, a downtown farther away from imminent threats of flooding from the adjacent Feather River was also likely promising.

Much of the Plumas Street area was originally part of property owned by Dr. Eli Teegarden. He built what is today referred to as the Teegarden-Mosburg House (731 Plumas Street) on this property in 1880, and cultivated orchards on his land. He was a local physician born in 1809 in Ohio. He originally came to California during the 1840s to seek his fortune in gold. Instead, Teegarden continued his practice as a doctor and became involved in other ventures. Along with William Foster, Teegarden helped to introduce flour milling to California in 1853 by constructing the Buckeye Mill, which was one of many that were to be established in Marysville. The Yuba City Flour Mill that was located on Bridge Street between Sutter and Yolo Streets was likely the indirect result of Teegarden's introduction of flour mills to California. He died in 1884, only four years after constructing this house. This large property was then subdivided four years later as the "Teegarden Addition." This is likely when Plumas Street began to take shape, with the other residences along this street constructed during the late nineteenth to early twentieth centuries. Most of these other houses were one-story tall, and all have since been demolished. It is likely that the Teegarden-Mosburg House survived because it adapted early on to commercial uses. It was a mortuary from 1925 to 1941, then used as a boarding house by its new owners Perry and Edith Mosburg. Perry was also a business owner along Plumas Street and served on the city council from 1942 to 1952.

The 1927 Sanborn map shows that most of Plumas Street was still primarily residential. The map shows, however, clusters of commercial buildings beginning to replace residences just north of Bridge Street. There were also other random commercial buildings that were beginning to sprout along Plumas Street, such as on the west side of the street near Forbes Avenue. Examples of these early businesses were grocery stores, garage, barber shop, gas station and restaurant. Over the course of the following decades, more residences would be demolished in favor of commercial buildings. Center Street, located to the east just off of Plumas Street, was created in the 1930s as a commercial street; when this street was constructed it replaced existing homes.

During its height during the 1930s to 1950s, Plumas Street was a typical downtown street with a movie theater, drug stores, shoe shops, gas stations, and dime stores. These lined the street from Colusa Highway to B Street. However, for larger shops and department stores, Yuba City residents often went across the Feather River to Marysville. Yuba City's original movie theater was the Smith's Theatre at 710 Plumas Street. This closed down by 1950, and was replaced by the Sutter Theatre at 754 Plumas Street, which still operates today. The old Smith's Theatre building still stands, but is occupied by storefronts. The city's post office was originally located at 238 Bridge Street, at the southeast corner of Bridge and Yolo Streets, near the original downtown core. A substation was located at 660 Plumas Street. In 1939, the current post office was constructed in their place. The move of the post office to Plumas Street, as well as the construction in the 1930s of the Spanish Colonial Revival Yuba City city hall and hospital along this street, were again indicative of the street's increasingly central location. As noted earlier, the municipal pumping and fire station were also constructed at the southern end of the Plumas Street district; the city's existing water tank is a reminder today of this facility.

Plumas Street was especially busy in the summers when seasonal employees came to work at the Del Monte Cannery that once stood on Plumas and B Street. The bars on Plumas Street were crowded with Del Monte employees after work hours. Two of these 1950s bars, like the Spur and Town Pump at 658-60 Plumas Street, still exist today with their original signage. Along with these bars, there are the Sutter Theatre and the post office. However, most of the businesses from Plumas Street's prime no longer exist. Former businesses that prospered during the 1940s and 1950s include the Peach Bowl Club & Café (620 Plumas), Shannon's Shoes (640 Plumas), Sprouse-Reitz Co. (652 Plumas) and Vogue Dress Shoppe (654 Plumas). Other key buildings or structures that still exist are the Teegarden-Mosburg House and the Yuba City water tank, while the fire station and hospital have been demolished. The former Yuba City city hall now houses private offices.

CONTINUATION SHEET

Page 3 of 8

Plumas Street lost its appeal by the late 1960s to early 1970s as the main commercial center. Shopping malls and chain stores located along Colusa Highway replaced the old downtown. Colusa remains the hub of retail shopping in Yuba City today, although small shops and restaurants have in the recent decade begun to prosper again in the old downtown. There is also now an effort to revitalize Plumas Street with sidewalk and street improvements.

Integrity Statement

The Plumas Street downtown commercial district was evaluated against the seven aspects of integrity as outlined in the California Register of Historical Resources guidelines. The seven aspects of integrity include location, design, setting, materials, workmanship, feeling, and association.

The evaluated district is Yuba City's downtown located along Plumas Street between Bridge Street and Colusa Avenue. Historically, this street was anchored by the Spanish Colonial Revival-style city hall to the north and the water tank and its associated pumping station facility to the south. The commercial district is still located within these same boundaries today, and both the city hall and water tank still exist today. The district therefore retains its original location.

During the 1930s to the 1950s, this area was at its height as a bustling commercial center, providing the city's shopping, entertainment and service needs. Meanwhile as Plumas was growing as a commercial center, there were still scatterings of single-family residences dating from when the area was first subdivided in 1888, even into the 1950s. Today, Plumas remains a downtown district. Except for the Teegarden-Mosburg House, however, the residences have been demolished. In the place of these buildings are generally those constructed from the 1960s to the present. In addition, many of the buildings dating to the period of significance have been remodeled, which also contribute to a changed appearance. Therefore, although the district remains Yuba City's downtown area, it does not represent a cohesive one in terms of its setting, feel, association, design, materials and workmanship.

The integrity of this district is fair.

California Register of Historical Resources Evaluation

The district was assessed under California Register of Historical Resources (CRHR) Criterion 1 for its association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. Plumas Street is Yuba City's downtown district. During the 1930s to the 1950s, this area was at its height as a bustling commercial center, providing the city's shopping, entertainment and service needs. The area was, however, originally agricultural with orchards belonging to Eli Teegarden. His house still stands on Plumas Street. The Teegarden land was then subdivided in 1888. Development was originally residential. A pumping station facility was constructed in circa 1908 at the street's south end; its original water tank still exists. This led the way for commercial development. By the 1920s, Plumas Street between Colusa Avenue and Bridge Street was gradually becoming Yuba City's new downtown commercial district, moving from its original location on Second Street near the Feather River. However, there is no evidence to show that this district was anything but a typical rural downtown that served the needs of its community. Therefore, this property does not qualify for the CRHR under Criterion 1.

The district was considered under Criterion 2 for its association with the lives of persons important to local, California, or national history. This area was originally associated with Dr. Eli Teegarden. Teegarden was a local physician, businessman, fruit cultivator and politician. Along with William Foster, Teegarden helped to introduce flour milling to California in 1853. Teegarden also served two years (1865 and 1867) in the California legislature, representing Sutter County. He was a known member of Yuba City society. He also had an extensive orchard on land surrounding the evaluated house. Teegarden was a significant individual in Marysville and Yuba City's history, who contributed as a physician, businessman and politician. However, the period of significance for this downtown district post dates Teegarden who died in 1884. No other names could be identified during the period of significance. Therefore, this property does not qualify for the CRHR under Criterion 2.

The district was evaluated under Criterion 3 for embodying the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values. The district evolved gradually into a commercial district. Development began in 1880 when Eli Teegarden built his home amid a fruit orchard, a building which still exists. Residences, which no longer exist, were then built on subdivided land during the late nineteenth and early twentieth centuries. Then, a water tank and the associated pumping station facility were constructed in circa 1908. This downtown grew gradually over decades, with a wide variety of buildings constructed in or heavily remodeled between the 1920s and the present. With buildings of widely varying age and remodeling, this district does not represent a significant and distinguishable entity whose components lack individual distinction. Therefore, this property does not qualify for the CRHR under Criterion 3.

The district was considered for Criterion 4 for having yielded, or having the potential to yield, information important to the prehistory or history of the local area, California, or the nation. This is not the case with this property. Therefore, it does not qualify for the CRHR under Criterion 4.

In summary, **this district does not appear to qualify for the California Register** under the four Criteria mentioned above. Therefore, it is not a historical resource for the purposes of the California Environmental Quality Act (CEQA).

CONTINUATION SHEET

Page 4 of 8

***D7. References:**

California State Library California Room

Schnabel, R.A. "Panel Discussion: Burt Ullrey, Frank Bremer, Hug Moncur, Arthur Coats, Eugene Boyd, Edmond VonGeldem." *Sutter County Historical Society News Bulletin* (1958): 3-16.

Community Memorial Museum of Sutter County

Barkas, Sherry. "Rooted Deep in the Soil of Yuba-Sutter." *Appeal-Democrat*, 6 April, 1998.

Chamber of Commerce Map, circa 1930.

Coping with Disaster: Voices from the 1955 Flood, Sutter County California. Yuba City, California: Sutter County Heritage Publications, c1995.

Dickey, John. "From the Gold Rush to the Space Race." *Appeal-Democrat*, 21 November, 2004.

"Here's to Our History! In Celebration of Yuba City's 77th Anniversary." Supplement to the *Yuba City Valley Herald*, 23 January, 1985.

Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City & Marysville, California: Community Memorial Museum of Sutter County and Mary Aaron Memorial Museum, c1990.

Map of Teegarden Addition to Yuba City, 23 June, 1888.

Map of the City of Yuba City Sutter County, no date.

Map of Yuba City, 29 November, 1856.

Marquette, Dick. "Recalling a Few of the Favorite Places..." *The Times of Yuba-Sutter*, 23 January, 1998.

Myrtle. (personal recollections of Yuba City history), 17 March, 1989.

Newfield, Lou. 1965. "Yuba City as I Knew It." *News Bulletin Sutter County Historical Society*, September.

Sutter County Scenic Tour: A Guide to Historical, Cultural and Scenic Points of Interest, Yuba City, California: Community Memorial Museum, revised May 2004.

Thomas Brothers Map of Marysville and Yuba City, 1 November, 1928.

United States Geological Survey Map (Yuba City), 1952 (photo revised 1973).

Various photographs of Bridge and Plumas Streets from circa 1930s to 1955.

Weeks, Steve. "From a Quiet Beginning: Yuba City Celebrates its 75th Year." *Appeal-Democrat*, 1 October, 1983.

Young, Rob. "Mosburg House Future Hazy." *Appeal-Democrat*, 17 May, 2005.

"Yuba City 75th Anniversary Edition." *Yuba City Valley Herald*, 19 January, 1983, 1-16.

Yuba City City Directory (1938, 1958).

Los Angeles Public Library (Central Branch)

Yuba City City Directory (1922, 1923, 1925, 1929, 1931-32, 1934, 1936, 1940, 1946, 1953, 1957, 1959-1962, 1968).

Online sources

http://www.co.sutter.ca.us/doc/visiting/countyhistory/history_glance (history of Sutter County).

CONTINUATION SHEET

Page 5 of 8

Primary # _____

HRI _____

*Resource Name or # (Assigned by recorder) Plumas Street downtown commercial district

Recorded By: Christeen Taniguchi

Date: March 1, 2006 ☒ Continuation ☐ Update



Figure 1: View looking southeast at Plumas Street near intersection of Center and Plumas Streets



Figure 2: View looking northeast at Plumas Street just northwest of the intersection of Center and Plumas Streets



Figure 3: View looking northwest at Plumas Street southeast of the intersection of Scott and Plumas Streets



Figure 4: View looking southeast at Plumas Street just northwest of the intersection of Church and Plumas Streets



Figure 5: View looking southeast along Plumas Street from Teegarden Avenue. The garage in the foreground no longer exists. In the background is the existing water tank at the intersection with Bridge Street.



Figure 6: View looking southwest along Plumas Street from Teegarden Avenue. These building façades have been extensively remodeled.

CONTINUATION SHEET

Page 6 of 8

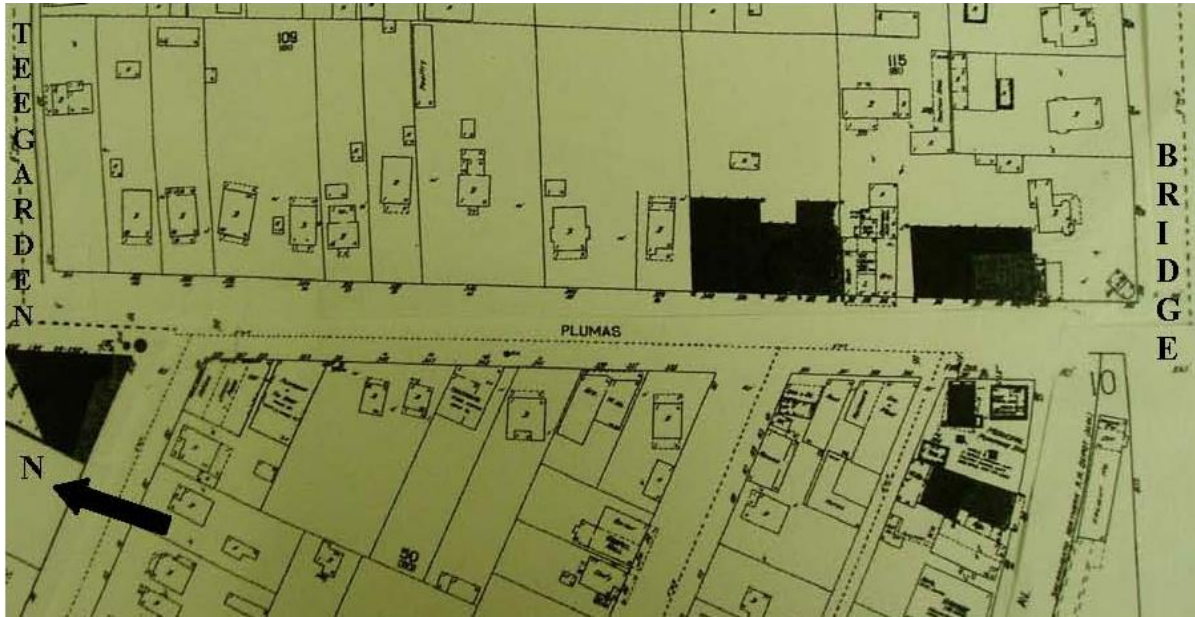


Figure 7: 1927 Sanborn map showing Plumas Street between Teegarden Avenue and Bridge Street. Except for sporadic commercial developments, most buildings were still primarily residential (ProQuest)



Figure 8: 1927 Sanborn map showing Plumas Street between Teegarden Avenue and Colusa Avenue. Except for sporadic commercial developments, most buildings were still primarily residential (ProQuest)

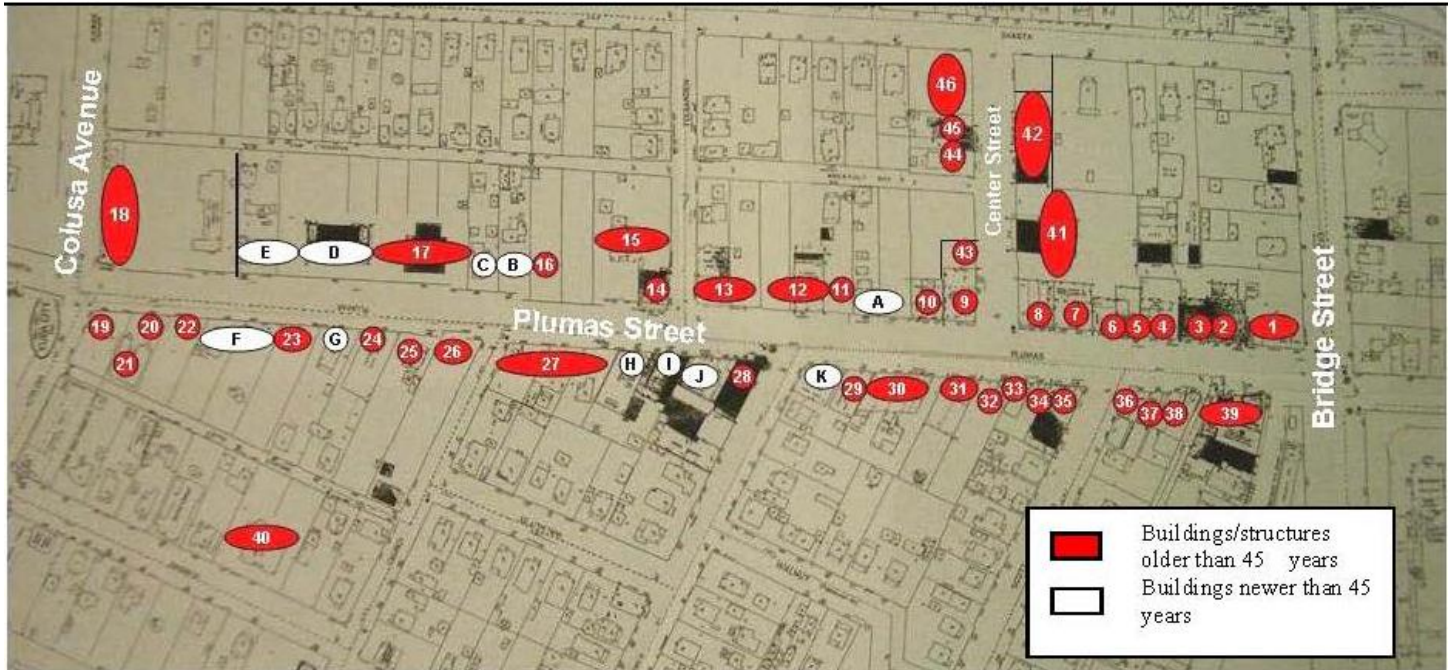
Page 7 of 8



(www.Topozone.com)

CONTINUATION SHEET

Page 8 of 8



1945 Sanborn map showing Plumas Street (ProQuest)

Building	Building address and date of construction	Building	Building address and date of construction
1	601 Plumas Street, circa 1946	24	764 Plumas Street, 1960
2	611 Plumas Street, circa 1927	25	758, 760 Plumas Street, circa 1953
3	619 Plumas Street, circa 1927	26	752, 754 Plumas Street (Sutter Theater), 1950
4	621 Plumas Street, circa 1934	27	732 Plumas Street, circa 1953
5	629 Plumas Street, circa 1927	28	710 Plumas Street, circa 1934
6	631, 633 Plumas Street, circa 1934	29	680 Plumas Street, circa 1953
7	635, 637 Plumas Street, circa 1927	30	664, 666 Plumas Street, circa 1934
8	641, 643, 645, 647 Plumas Street, circa 1927	31	652, 654 Plumas Street, circa 1934
9	653 Plumas Street, circa 1938	32	646 Plumas Street, 1952
10	659, 661 Plumas Street, circa 1934	33	644 Plumas Street, circa 1934
11	673 Plumas Street, circa 1953	34	642 Plumas Street, circa 1938
12	701 Plumas Street, circa 1936	35	640 Plumas Street, circa 1938
13	715 Plumas Street, circa 1946	36	628 Plumas Street, circa 1946
14	725 Plumas Street, circa 1934	37	624 Plumas Street, circa 1934
15	731 Plumas Street (Teegarden-Mosburg house), 1880	38	620 Plumas Street, circa 1927
16	739, 741 Plumas Street, circa 1953	39	610 Plumas Street (Yuba City Water Tower), circa 1909
17	761 Plumas Street (Yuba City Post Office), 1939	40	817 Almond Street (Ullrey Memorial Chapel), 1942
18	444 Colusa Avenue, circa 1953	41	430 Center Street, circa 1945
19	500 Colusa Avenue, circa 1953	42	410, 414, 416 Center Street, circa 1958
20	820 Plumas Street, 1955	43	435 Center Street, circa 1958
21	822, 824 Plumas Street, 1933	44	417, 421 Center Street, circa 1938
22	816 Plumas Street, 1955	45	409 Center Street, 1941
23	778 Plumas Street, circa 1953	46	404 Center Street, 1955

Building	Building address and date of constructions	Building	Building address and date of constructions
A	669 Plumas Street	G	770 Plumas Street
B	747 Plumas Street	H	728 Plumas Street
C	727 Plumas Street	I	720, 722, 724 Plumas Street
D	769, 791 Plumas Street	J	714, 716, 718 Plumas Street
E	807, 809 Plumas Street, 1964	K	700 Plumas Street
F	800 Plumas Street, 1963		

Note: Include bar scale and north arrows.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 601 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 601 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
APN: 52-231-012 Previous APN: 01-191-012
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 601 Plumas Street in Yuba City, Sutter County. It is located on the southwest corner of Plumas and Bridge Streets. The building is located approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular service station that was constructed in circa 1946. It has a square floor plan and the southwest facing façade is asymmetrical. The foundation is concrete. The building has a steel structural system and the exterior is clad in metal sheets. It is covered by a flat roof and the roofing material is unknown. There are large aluminum-sash picture windows on the façade and the western elevation. Windows on the other elevations are also large aluminum-sash picture windows. The main entrance is located on the façade under a cantilevered overhang present on the eastern and southern corner of the building and the entry itself consists of an aluminum-sash glass door. The entrance door is topped by an air conditioning unit. Other entrances are located on the southwest and northwest elevations and consist of metal rolling doors to service bays and a metal sliding door. Decorative elements of this building include a wraparound cantilevered overhang and smooth metal exterior cladding.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building
*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):
*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northeast at the façade.
December 12, 2005
*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
Circa 1946, 1946 Yuba City City Directory
*P7. Owner and Address: Manfred Chin
1355 Marlborough Rd.
Burlingame, CA 94010
*P8. Recorded by: Name, affiliation, and address) Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277
*P9. Date Recorded: January 6, 2006
*P10. Survey Type: (Describe) ☐ Intensive ☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 601 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas and Bridge Streets and is set behind an asphalt parking lot that extends out to the sidewalk level. There are no ancillary buildings on this property.

Alterations include blacking out the top window panels and the installation of an air conditioning unit above the main entrance. The condition of the building is good to fair.

This vernacular building's character-defining features include a steel structural system clad in metal sheets, a flat roof, a square floor plan, large paned windows, a wraparound cantilevered overhang and oversized metal rolling doors to service bays.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 6

*Resource Name or # (Assigned by recorder) 610 Plumas Street, Yuba City

P1. Other Identifier: 301 Plumas Street (until circa 1931); 612 Plumas Street; water tower

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; _____ % of _____ % of Sec _____ ; B.M. _____

c. Address 610 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN: 52-227-010 Previous APN: 01-187-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This steel elevated water tank has a conical steel roof with a round finial at the point. It is cylindrical in shape and has a hemispherical bottom. The entire structure is nearly 80 feet tall. The tank itself is about 35 feet high and 22 feet in diameter, with a 100,000 gallon capacity. There is x-bracing made of steel rods located between the struts supporting the four legs which are mounted onto steel reinforced concrete piers. The legs are steel posts with lacing bars riveted onto them. There is a steel balcony and hand rail around the circumference of the tank near its base; a steel ladder extends from this balcony to the top of the tank. Just below the hemispherical tank bottom is a steel plank catwalk. There is one pipe leading from the tank into the ground. The tank is painted on one side with the words "YUBA City." Currently, a chain link fence with barbed wire surrounds the tank structure. The condition is good to excellent.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP11 Engineering Structure

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



Figure 1.

P5b. Description of Photo: (view, date, accession #) View looking northwest at the southeast facing side of the tank December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1908, 1899 and 1909 Yuba City

Sanborn maps

*P7. Owner and Address:

City of Yuba City

1201 Civic Center Blvd

Yuba City CA 95993

*P8. Recorded by: Name, affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: Feb. 17, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

BUILDING, STRUCTURE AND OBJECT RECORD

Page 2 of 6

*Resource Name or # (Assigned by recorder) 610 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 17, 2006 ☒ Continuation ☐ Update

B1. Historic Name: Horton Elevated Tank (refers to type of tank)

B2. Common Name: Yuba City Water Tank

B3. Original Use: Water tank

B4. Present Use: same

*B5. Architectural Style: None

*B6. Construction History: (Construction date, alterations, and date of alterations)

The evaluated water tank was likely constructed in 1908 soon after the 1907 fire along Second Street, Yuba City's original downtown area.

*B7. Moved? No Original Location:

*B8. Related Features: None

B9a. Architect: Chicago Bridge & Iron Company

b. Builder: Chicago Bridge & Iron Company

*B10. Significance: Theme City water supply system

Area: Yuba City

Period of Significance: Circa 1908-1961

Property Type:

Elevated water tank

Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The evaluated water tank was likely constructed in circa 1908. It appears to be a Horton Elevated Water Tank, which was a type of tank invented in 1894 by the Chicago Bridge & Iron Company (CBIC), with the first one of this kind erected in Fort Dodge, Iowa. This tank style was named after Horace E. Horton, the founder of CBIC. The evaluated tank was constructed soon after the 1907 fire at Yuba City's original downtown district, Second Street, which damaged their Water Works complex. Improving the water works became the first item on the city's agenda. Water pumps were immediately installed under the evaluated water tank at the corner of Sutter Avenue (today called Reeves Avenue) and Plumas Street. As the twentieth century progressed, Yuba City would develop westward, so that this water tank would be located adjacent to the city's new downtown district. The 1909 Sanborn map shows that the evaluated water tank was part of a complex called the Municipal Pumping (Water Works) Station which also had a one-story building with an office located directly to the south of the water tank (see Sketch Map and maps on page 6, figures 9 and 10).

The superintendent for the Municipal Water Works in 1922 was Emery J. White. The water pumps underneath the water tank were later replaced by a hipped roof one-story fire station (313 Plumas Street) in circa 1924. By 1927, the superintendent of the Municipal Water Works was Lewis R. Robinson, and two pumps and a tool house were built directly to the west of the water tank and the office building.

B11. Additional Resource Attributes (List attributes and codes)

*B12. References: See page 4

B13. Remarks: None

*B14. Evaluator: Christeen Taniguchi

Galvin Preservation Associates

1611 South Pacific Coast Highway, Suite 104

Redondo Beach, CA 90277

*Date of Evaluation: February 17, 2006

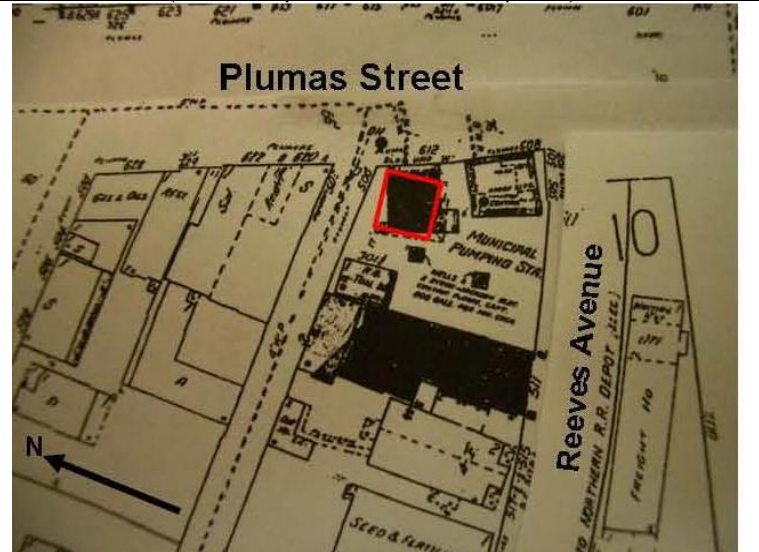


Figure 2. Red box indicates location of evaluated tank as shown on the 1927 Sanborn map with 1945 updates (ProQuest)

CONTINUATION SHEET

Page 3 of 6

*Resource Name or # (Assigned by recorder) 610 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update

(continued from page 2)

*B10 Significance:

A 1931-32 city directory shows the Municipal Water Works yard with the address 505 Reeves Avenue, which is the southeast facing side of the yard, and the fire station building was re-numbered 612 Plumas Street. Leon M. Bunce was the superintendent of Water Works by 1938. Upon completion of the new city hall in circa 1942, the Yuba City Fire Department moved into its new headquarters at the city hall, abandoning the old fire station underneath the water tank. A 1942 city directory shows the former fire station as "vacant." In circa 1946, Bunce passed away and by 1953, the city directory shows Lyndell G. Smith filled the superintendent position. The former fire station building was converted to commercial use so that the 1953 city directory shows it occupied by Isaac's Shoe Shine Parlor. From 1954 until circa 1968, the building was being used by the Sutter County-Yuba City Chamber of Commerce. The fire station and the other buildings and structures on this property have since been demolished, so that only the water tank still remains. The water tank continues to be owned by Yuba City, although it is no longer being used for water storage. However, with its central location near the corner of Bridge and Plumas Streets, it is a prominent visual landmark with "Yuba City" painted on it.

Integrity Statement

The subject water tank was evaluated against the seven aspects of integrity as outlined in the California Register of Historical Resources guidelines. They are location, design, setting, materials, workmanship, feeling, and association.

The evaluated structure retains its original location; it has not been moved.

The water tank was originally part of the city's Municipal Pumping Station (Water Works) yard at Plumas Street and Sutter Avenue (later Reeves Avenue) that was established in 1908. At that time, there was a one-story building with an office located directly to the south of the tank. By 1927, there were also two pumps and a tool house located directly to the west of the water tank. In addition, there was a circa 1924 hipped roof one-story fire station built directly underneath the water tank. Except for the water tank, none of these other buildings or structures still exists and have instead been replaced by landscaping and paving. In addition, a Sacramento Northern freight and passenger depot was located to the south, across the street from Reeves Avenue (formerly Sutter). This has also been demolished and replaced by landscaping. However, many of the nearby buildings associated with downtown Plumas Street during its heyday from 1930s-1950s still exist, although some have been altered. Therefore, although the water tank's immediate setting, feeling and association have changed due to the loss of the Water Works facility, it is still part of a larger historic downtown commercial area.

The water tank was likely originally designed by the Chicago Bridge & Iron Company as a Horton Elevated Tank. Named after the founder of the company, Horace E. Horton, this water tank retains its original character-defining features of a conical hipped roof and its trademark full hemispherical bottom. Therefore, the structure retains its original material and workmanship.

The integrity of the water tank is good.

California Register of Historical Resources Evaluation

The property was assessed under California Register of Historical Resources (CRHR) Criterion 1 for its association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. The evaluated water tank was constructed in circa 1908, soon after the 1907 fire on Yuba City's original downtown district, Second Street. Improving the water works became the first item on the city's agenda after the fire. Water pumps were immediately installed under the evaluated water tank on the corner of Sutter Avenue (later Reeves Avenue) and Plumas Street. As part of the Municipal Pumping Station (Water Works), the tank had an associated office building, fire station and pumps on the same property. This water tank is today a prominent visual landmark near the intersection of Plumas and Bridge Streets. However, all of the Water Works buildings and structures surrounding the evaluated water tank have been demolished. This means that the water tank has diminished integrity in terms of setting, feel and association. In addition, it is the second generation of water works associated with the city. The first had been located on Second Street and damaged in the 1907 fire. Therefore, this tank is reflective of the natural progression and growth of the city, rather than being part of the beginnings when the city was founded. Therefore, this property does not qualify for the CRHR under Criterion 1.

The property was considered under Criterion 2 for its association with the lives of persons important to local, California, or national history. The superintendent for the Yuba City Municipal Water Works in 1922 was Emery J. White. By 1927, this position was held by Lewis R. Robinson. Leon M. Bunce took over by 1938. By 1953 the city directory shows Lyndell G. Smith as superintendent. Research did not identify that these were significant individuals other than their position as superintendent over seeing the Water Works

CONTINUATION SHEET

Page 4 of 6

*Resource Name or # (Assigned by recorder) 610 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 17, 2006 ☒ Continuation ☐ Update

department. No other names could be identified during the period of significance. Therefore, this property does not qualify for the CRHR under Criterion 2.

The property was evaluated under Criterion 3 for embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master or possessing high artistic values. The water tank was constructed in circa 1908 for Yuba City by the Chicago Bridge & Iron Company as a Horton Elevated Tank. This steel water tank retains its original character-defining features of a conical hipped roof and its trademark full hemispherical bottom. However, this water tank is simply a utilitarian water storage structure, and is not one of the first that were constructed. Therefore, it does not embody the distinctive characteristics of a type, period, region, or method of construction. In addition, it is not the work of a master and does not possess high artistic values. Therefore, this property does not qualify for the CRHR under Criterion 3.

The property was considered for Criterion 4 for having yielded, or having the potential to yield, information important to the prehistory or history of the local area, California, or the nation. This is not the case with this property. Therefore, this property does not qualify for the CRHR under Criterion 4.

In summary, *the property does not appear to qualify for the California Register* under the four Criteria mentioned above. Therefore, this property is not a historical resource for the purposes of the California Environmental Quality Act (CEQA).

*B12. References:

Community Memorial Museum of Sutter County

Barkas, Sherry. "Rooted Deep in the Soil of Yuba-Sutter." *Appeal-Democrat*, 6 April, 1998.

Chamber of Commerce Map, circa 1930.

Coping with Disaster: Voices from the 1955 Flood, Sutter County California. Yuba City, California: Sutter County Heritage Publications, c1995.

Dickey, John. "From the Gold Rush to the Space Race." *Appeal-Democrat*, 21 November, 2004.

"Here's to Our History! In Celebration of Yuba City's 77th Anniversary." Supplement to the *Yuba City Valley Herald*, 23 January, 1985.

Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City & Marysville, California: Community Memorial Museum of Sutter County and Mary Aaron Memorial Museum, c1990.

Map of the City of Yuba City Sutter County, no date.

Map of Yuba City, 29 November, 1856.

Sutter County Scenic Tour: A Guide to Historical, Cultural and Scenic Points of Interest, Yuba City, California: Community Memorial Museum, revised May 2004.

Thomas Brothers Map of Marysville and Yuba City, 1 November, 1928.

United States Geological Survey Map (Yuba City), 1952 (photo revised 1973).

Various photographs of Bridge and Plumas Streets from circa 1930s to 1955.

Yuba City City Directory (1938, 1958).

Sutter County Historical Society

Tam, Katherine. "Yuba City Water Tower Becomes Downtown Landmark," *Appeal-Democrat*, [no date, circa 2000].

Los Angeles Public Library (Central Branch)

Yuba City City Directory (1922, 1923, 1925, 1929, 1931-32, 1934, 1936, 1940, 1946, 1953, 1957, 1959-1962, 1968).

Online

<http://www.cbi.com/about/history.aspx> (history of the Chicago Bridge & Iron Company).

CONTINUATION SHEET

Page 5 of 6

*Resource Name or # (Assigned by recorder) 610 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update



Figure 3. View looking northwest at the water tank



Figure 4. View looking northeast at the water tank

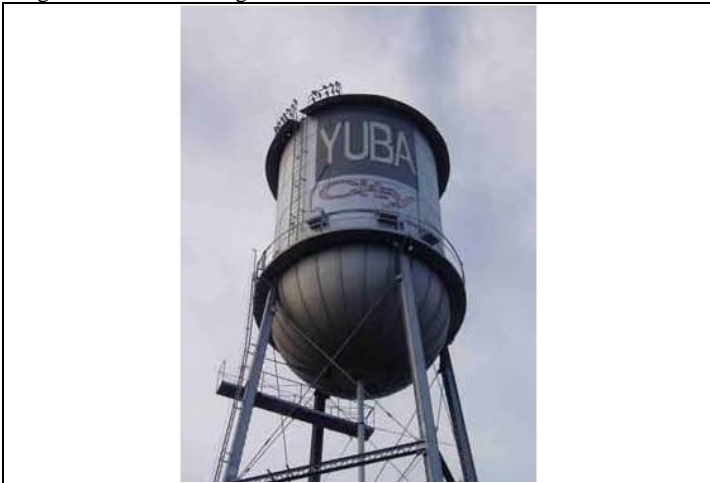


Figure 5. View looking northwest at the water tank



Figure 6. View looking northwest at the base of the water tank and the park that has been laid out



Figure 7. View looking north at water tank in image from circa 1930s (Community Memorial Museum of Sutter County)



Figure 8. View looking north at the water tank base in image from circa 1930s (Community Memorial Museum of Sutter County)

CONTINUATION SHEET

Page 6 of 6

Primary # _____

HRI _____

*Resource Name or # (Assigned by recorder) 610 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update



Figure 9. View looking northeast at the water tank seen at left with the former Yuba City Fire Station located directly underneath the water tank. This image was taken immediately after the December 24, 1955 flood (Community Memorial Museum)



Figure 10. View looking northeast at circa 1939 image of Yuba City Fire Station building that was located directly underneath the evaluated water tank from circa 1924 to circa 1968 (www.ycpd.org)

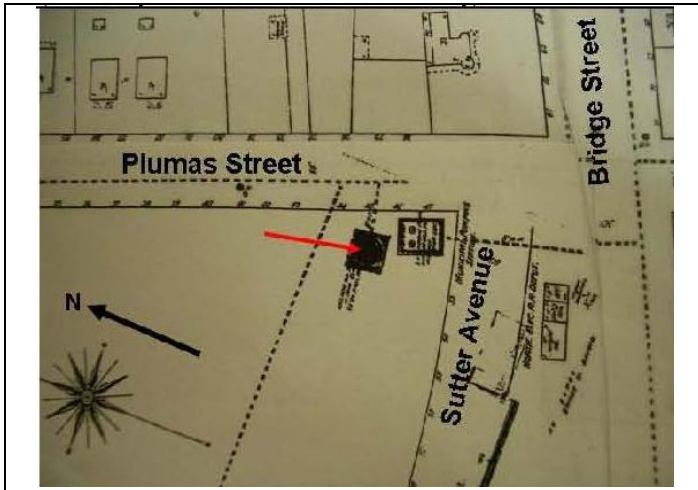


Figure 11. 1909 Sanborn map with the red arrow pointed to the evaluated water tank. This was the Municipal Pumping Station, along with an office building located directly to the south (ProQuest)

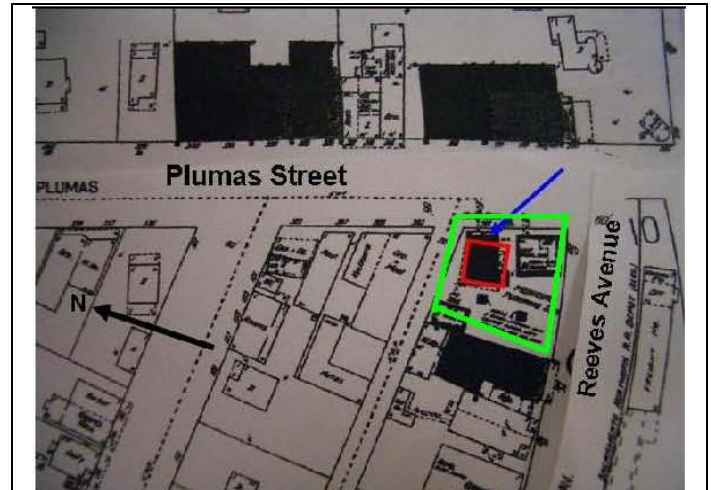


Figure 12. 1927 Sanborn map with red box indicating location of evaluated water tank and the green box shows the Municipal Pumping Station property. The blue arrow points to Yuba City Fire Station constructed underneath the water tank in 1924. By this time, the Pumping Station also had two pumps and a tool shed (ProQuest)

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 611 Plumas Street, Yuba City

P1. Other Identifier: 301, 310, 312 Plumas Street (previous address until 1931)
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 611 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
APN: 52-231-013 Previous APN: 01-191-013
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 611 Plumas Street in Yuba City, Sutter County. It is located on the east side of Plumas Street between Center and Bridge Streets. The building is located approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This is a one-story vernacular building with no specific style constructed in circa 1927. It has a rectangular floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in painted red brick and the façade is partially clad in thin tan colored bricks. It is covered by a flat roof clad in rolled composite sheets. The façade is almost entirely made up of large aluminum-sash glass windows and doors. A shed clad in horizontal wood board sits atop the roof near the north end of the building and is attached to the south elevation of an adjacent two-story building to the north. The main entrance is located on the façade under an overhang clad in narrow ribbed metal sheets and the entrance itself consists of a metal-sash glass door. Other entrances are located on the north side of the façade and east elevations and consist of metal sash glass doors and wooden doors. Decorative elements of this commercial building include a cantilevered overhang, clad in narrow horizontal ribbed metal sheets that extends the width of the façade, partial cladding of the façade in thin tan colored bricks and decorative brickwork at the edge of the roof line.

The building fronts onto Plumas Street and is set behind the sidewalk level. Two young trees are present on the city owned sidewalk.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northeast at the facade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
Circa 1927, 1927 Yuba City Sanborn Map

*P7. Owner and Address: Han Shao Ying
133 Sadowa Street
San Francisco, CA 94112

*P8. Recorded by: Name, affiliation, and address) Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy, Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 611 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Alterations include the remodeling of the storefront in circa 1950s and the addition of a large satellite dish on top of the façade overhang. The condition of the building is good to fair.

This vernacular building's character-defining features include a flat roof, rectangular floor plan, large glass paned windows and cantilevered overhang extending the width of the building.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 619 Plumas Street, Yuba City

P1. Other Identifier: 314 Plumas Street (previous address until 1931)
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 619 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)
APN: 52-231-013 Previous APN: 01-191-013
*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 619 Plumas Street in Yuba City, Sutter County. It is located on the east side of Plumas Street between Center and Bridge Streets. The building is located approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building was constructed in circa 1927 and is a two-story vernacular commercial/residential building with no specific style. It has a rectangular floor plan and the southwest-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in painted brick. The first floor of the façade is partially clad in thin painted bricks which appear to have been installed in the circa 1950s. It is covered flat roof constructed of rolled composite sheets. The bottom half of the façade is almost entirely made up of large, metal-sash fixed windows. Windows on the second floor are wood-sash double-hung windows shaded by metal awnings. Windows on the southeast elevation are aluminum-sash, multi-paned hopper windows. Attached to the southeast elevation is a shed clad in horizontal wood boards that sits atop an adjacent building to the southeast. The main entrance is located under a cantilevered overhang clad in narrow horizontal ribbed metal sheets in a recessed entryway of the facade and consists of metal-sash double glass doors; there is a second entrance to the façade which consists of a recessed entrance with a plain wood door. Decorative elements of this commercial building include the decorative thin painted bricks on the façade, decorative brick design on the edge of the roof line, and cantilevered overhang clad in narrow horizontal ribbed metal sheets extending the width of the façade.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building
*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):
*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the facade
December 12, 2005
*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
Circa 1927, 1927 Yuba City Sanborn map
*P7. Owner and Address: Shao Ying Han
133 Sadowa Street
San Francisco, CA 94112
*P8. Recorded by: Name, affiliation, and address) Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277
*P9. Date Recorded: January 6, 2006
*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 619 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. There are no ancillary buildings on this property. Alterations include the remodeling of the first floor in the circa 1950s and the addition of a large marquee over the cantilevered overhang and aluminum awnings over the second floor windows, as well as air conditioning units present in the windows. The condition of the building is fair.

This two-story vernacular building's character-defining features include a rectangular floor plan, a flat roof, large paned glass windows and cantilevered overhang extending the width of the façade.

PRIMARY RECORD

Primary # _____
HRI _____

Trinomial # _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 620 Plumas Street, Yuba City

P1. Other Identifier: 303, 305 Plumas Street (prior to 1931) and 620, 622 Plumas Street (as indicated on a 1945 Sanborn map)

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 620 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN: 52-226-011 Previous APN: 01-186-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 620 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This one-story vernacular commercial building was constructed in circa 1927. It is likely that the building was two separate buildings prior to 1950 and has since been incorporated into a single building. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in a combination of smooth and textured stucco and light and dark blue ceramic tiles on the lower half of the facade. It is covered by a flat roof clad in rolled composite sheets with a straight edge parapet. There are five windows on the facade. They consist of aluminum-sash picture windows. Windows on the other elevations are not visible. The main entrance is located in the recessed entryway of the facade and consists of a metal-sash glass door. Other entries are located on the south side of the facade and consist of a wooden door with a stained glass window. Decorative elements of this commercial building include light and dark blue ceramic tiles on the lower half of the façade as well as half-cylinder awnings over two doors, both of which appear to have been added in the circa 1980s.

The building fronts onto Plumas Street and is set behind the sidewalk. There are no visible ancillary buildings on this property. Alterations include the remodeling of the storefront in the circa 1980s and the addition of half-cylinder awnings over the doors, and the cladding of the lower half of the facade in light and dark blue ceramic tiles. The condition of the building is good.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northwest at the facade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
Circa 1927, 1927 Yuba City Sanborn Map

*P7. Owner and Address: Scruby Rev. Trust
50 Wally B Lane
Oroville, CA 95966

*P8. Recorded by: Name, affiliation, and address) Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive ☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 621 Plumas Street, Yuba City

P1. Other Identifier: none

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 621 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-231-015 Previous APN: 01-191-015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 621 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular building constructed in circa 1934. It has a square floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in a combination of thin decorative bricks and smooth stucco. It is covered by a flat roof clad in rolled composite sheets with a straight-edged parapet. There are several windows on the façade. They are asymmetrically spaced and consist of wood-sash fixed windows as well as metal-sash fixed windows. The main entrance is located on the façade under an overhang clad in narrow horizontal ribbed metal sheets and consists of double wooden doors with stained glass windows. Other entrances are located on the south side of the façade and consist of two separate metal-sash glass doors. Decorative elements of this commercial building include a cantilevered overhang clad in narrow ribbed metal sheets that extends the width of the façade and thin decorative bricks covering the lower half of the façade.

The building fronts onto Plumas Street and is set behind the sidewalk level. Landscaping elements include a few potted plants at the building's façade. There are no ancillary buildings on this property. Alterations include the remodeling of the store front in the circa 1960s. The condition of the building is good.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the facade

December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Raul & Helen L. Ybarra

977 Bridge Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 624 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 624 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-226-010 Previous APN: 01-186-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 624 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This one-story vernacular commercial building was constructed in circa 1934. It has a rectangular floor plan and the east-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco and the façade is partially clad in red brick; there is a decorative border, which appears to have been added recently, on the upper part of the façade. It is covered by what appears to be a front-gabled roof clad in what is most likely rolled composite sheets with a straight-edge parapet. There are two windows on the façade. They are symmetrically spaced and consist of metal-sash fixed windows. Windows on the other elevations are not visible. The main entrance is located on the façade under a fabric awning and consists of a metal-sash glass door. Decorative elements of the building include a fabric awning that extends the width of the façade as well as concrete moldings on the parapet.

The building fronts Plumas Street and is set behind the sidewalk. There are no visible ancillary buildings on this property.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northwest at the facade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Daman Sunita Devi

671 N. George Washington Blvd.

Yuba City, CA 95993

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 624 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Alterations include the addition of new windows and door, partial red brick cladding on the façade and decorative borders on the upper part of the façade. The condition of the building is excellent to good.

This vernacular building's character-defining features include a rectangular floor plan and a flat roof with a straight edge parapet.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 628 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 628 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-226-009 Previous APN: 01-186-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 628 Plumas Street in Yuba City, Sutter County. It is on the northeast corner of Plumas and Scott Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1946. It has a rectangular floor plan and the northeast-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco, ceramic tiles, and smooth travertine blocks. It is covered by a flat roof clad in rolled composite sheets. There are several windows throughout the building. They consist of large metal-sash fixed windows with the exception of one window on the north elevation which is made of glass blocks. The main entrance is recessed and is located on the northeast corner of the building under a fabric awning and consists of a wood-sash glass door. Other entrances are located on the east and north elevations and consist of metal doors and wood-sash glass doors. Decorative elements of this commercial building include dome-shaped fabric awnings over all doors, multi-colored ceramic tiles below all windows, and molding at the edge of the roof and also above the windows.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southwest at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1946, 1946 Yuba City

City Directory

*P7. Owner and Address:

John and Nancy Tuscano

P O Box 706

Yuba City, CA 95992

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) _____

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: , 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas and Scott Streets and is set behind the sidewalk. Landscaping elements include hanging flower pots about ten feet from ground level. There is a tall and narrow decorative iron gate that separates 628 and 624 Plumas Street. There are no visible ancillary buildings on this property.

Alterations include the complete renovation of the building including replacement of windows, façade materials, and doors. The condition of the building is excellent.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 629 Plumas Street, Yuba City

P1. Other Identifier: 326, 328 Plumas Street (prior to 1931) and 625, 629 Plumas Street (as indicated on a 1945 Sanborn map)

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 629 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-531-016 Previous APN: 01-191-016

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 629 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1927. It has a rectangular floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in what appears to be thin cinder blocks on the lower half of the building and tan colored bricks on the upper part of the facade. It is covered by a flat roof clad in rolled composite sheets with a stepped parapet; the top edge of the parapet is capped by tan-colored bricks and there is a rectangular framing on the parapet formed by the bricks. There are three windows on the façade. They are asymmetrically spaced and consist of metal-sash fixed windows. Other windows are located on the east elevation and consist of aluminum-sash sliding windows. The main entrance is located underneath a fabric awning on the facade and consists of metal-sash glass doors. There is a secondary entrance located on the south side of the facade which consists of a metal-sash glass door. Decorative elements of this commercial building include a fabric awning that extends the width of the façade as well as a tan brick capping on the top edge of the parapet and a rectangular frame on the parapet formed by tan bricks.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking east at the facade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1927, 1927 Yuba City Sanborn Map

*P7. Owner and Address:

Raul and Helen Ybarra

977 Bridge Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) _____

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: , 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include a mature tree in a concrete planter and potted plants on the city-owned sidewalk. There are no ancillary buildings on this property. Alterations include the replacement of original doors and windows, the cladding of the lower half of the façade in thin cinder blocks and the attachment of a fabric awning to the façade. The condition of the building is good.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof with a stepped parapet, a brick-clad façade and rectangular framing of tan brick on the upper part of the façade.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 631-633 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 631, 633 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-232-022 Previous APN: 01-191-022

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 631-633 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a two-story, Art Deco commercial building constructed in circa 1934. It has a rectangular floor plan and the southwest-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in painted bricks and a poured concrete façade. It is covered by a flat roof clad in rolled composite sheets. There are four windows on the façade. They are symmetrically spaced and consist of large square metal-sash fixed windows and small metal-sash fixed windows over the entrance. The entrances to the façade are located under a fabric awning and consist of wood-sash glass doors with diagonal strips of metal serving as door handles. Decorative elements of this Art Deco commercial building include zigzags and stylized motifs near the roof line, and four decorative motifs that once topped four column-like divisions that were removed in circa 1950. Other decorative elements include the fabric awning extending the width of the façade, and green and salmon pink ceramic tiles near the base of the façade.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Royce & Rhonwyn Dunn

3209 Colusa Hwy

Yuba City CA 95993

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) _____

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: , 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk level. There are no ancillary buildings on this property.

Alteration to the building is extensive. The building, which was originally a bank building, had just one main entrance until circa 1950 when the interior of the building was divided and a second entrance was added; four column-like divisions on the façade were nearly removed during the circa 1950 conversion. The window openings were also shorted as a result of the circa 1950 conversion. A fabric awning the width of the building has been added to the façade. The condition of the building is good to fair.

The building is in the Art Deco style which was popular in California from around 1925 to 1940. Character-defining features of the Art Deco style are a vertical emphasis and the accent stylized design motifs. The exterior surface of the façade is characterized by a smooth surface, either stucco or poured concrete and the roof is flat. This Art Deco commercial building's character-defining features include a flat roof and a poured concrete façade with zigzag and stylized motifs.

PRIMARY RECORD

Primary # _____

HRI _____

Trinomial # _____

NRHP Status Code _____

Other Listings _____

Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 635-637 Plumas Street, Yuba City

P1. Other Identifier: 336 Plumas Street (previous address until 1931) and 635-639 Plumas Street (as indicated on a 1945 Sanborn Map)

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 635, 637 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-231-001 Previous APN: 01-191-001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 635, 637 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building with no specific architectural style and was constructed in circa 1927. It has a rectangular floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in what appears to be smooth stucco. However, the façade has a recent cladding of red brick. It is covered by a flat roof clad in rolled composite sheet along with a stepped parapet with coping. There are several windows on the façade. They are asymmetrically spaced and consist of metal-sash fixed windows. The main entry is located under the awning of the west elevation and consists of a metal-sash glass doors. Other entries are located on the east elevations and consist of metal doors. Decorative elements of this vernacular building include a stepped parapet with coping.

The building fronts onto Plumas Street and is set behind the sidewalk level. There are no ancillary buildings on this property. Alterations include the replacement of the original doors and windows with metal-sash glass doors and metal-sash windows, red brick cladding on the façade and a fabric awning attached to the façade. The condition of the building is good. This vernacular building's character-defining features include a rectangular floor plan and a flat roof with a stepped parapet.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1927, 1927 Yuba City Sanborn Map

*P7. Owner and Address:

John Tuscano

PO Box 706

Yuba City, CA 95992

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 640 Plumas Street, Yuba City

P1. Other Identifier: 638, 640 Plumas Street (as indicated on a 1945 Sanborn map)
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 640 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-011 Previous APN: 01-185-011

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 640 Plumas Street in Yuba City, Sutter County. It is on the southwest corner of Plumas and Scott Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building with no specific style and was constructed in circa 1938. It has a rectangular floor plan and the east-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in textured stucco. It is covered by a flat roof clad in rolled composite sheets with a flat ridge parapet at the main entrance and northernmost elevation. The main entrance is located on the southeast corner of the building and consists of double metal-sash glass doors. Other entrances are located on the south elevations and consist of glass doors. All windows are large metal-sash fixed windows. Decorative elements of this commercial building include fabric awnings above all windows and entrances, five horizontal moldings extending around the entire building and marble panels near the base of the building.

The building fronts onto Plumas Street and is set behind the sidewalk. There are no visible ancillary buildings on this property.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southwest at the façade
December 12, 2006

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1938, 1938 Yuba City

City Directory

*P7. Owner and Address:

Brookman Rev. Family Trust

390 Salem Drive

Yuba City, CA 95993

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) _____

*Resource Name or # (Assigned by recorder) _____

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: , 2006

☒ Continuation

☐ Update

P3a. Description: (continued from page 1)

Alterations include the extensive remodeling of the exterior of the property including altering the original façade and replacement of original windows and entrances, as well as the refinishing of exterior walls in smooth stucco. The condition of the building is excellent to good.

This vernacular building's character-defining features are a rectangular floor plan, a flat roof with a parapet and multiple sets of large paned windows.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 641, 643, 645, 647 Plumas Street, Yuba City

P1. Other Identifier: 340 Plumas Street (previous address until 1931)

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 641, 643, 645, 647 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-231-001 Previous APN: 01-191-001

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 641-647 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center and Bridge Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1927. It has a rectangular floor plan and the west facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in red brick and the façade is partially clad in black ceramic tiles and wood panels. It is covered by a flat roof constructed of rolled composite sheets with a stepped parapet with coping. There are several windows on the façade asymmetrically spaced and they consist of metal-sash fixed windows. A row of small wood-sash fixed windows extend the width of the façade. Two of the main entrances are located in recessed entryways and one is under the awning of the west elevation which consists of wooden doors with long glass windows. Other entrances are located on the east and west elevations and consist of what appear to be wooden doors and metal-framed glass doors. Decorative elements of this vernacular commercial building include fabric awnings, black ceramic tiles and wood paneling.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1927, 1927 Yuba City Sanborn

Map

*P7. Owner and Address:

John Tuscano

PO Box 706

Yuba City, CA 95992

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 641, 643, 645, 647 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** , 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. There are no ancillary buildings on this property.

Alterations include the addition of wood paneling, fabric awnings, the possible replacement of some of the original windows, and the addition of ceramic tiles beneath the windows. The condition of the building is good.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof with a stepped parapet, a row of small wood-sash fixed windows above storefronts and black ceramic tiles on the base of the storefront entrances.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 642 Plumas Street, Yuba City

P1. Other Identifier: none

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 642 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-010 Previous APN: 01-185-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 642 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building with no specific style constructed in circa 1938. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco and brick cladding on the lower half of the facade. It is covered by what appears to be flat a roof clad in rolled composite sheets with wood shingles on the edge of the roofline. There are three windows on the façade asymmetrically spaced which consist of large wood-sash fixed windows. The main entrance is located on the northern end of the facade and consists of a wood-framed glass door. Decorative elements of this building include a cast iron arch over the façade entrance and a cast iron rod over the façade windows. The building fronts onto Plumas Street and is set behind the sidewalk. There are no visible ancillary buildings on this property. Alterations include the replacement of the façade entrance door and windows and the addition of decorative cast iron over them. The condition of the building is good.

This vernacular building's character defining-features are a rectangular floor plan, a flat roof with wood shingles on the edge of its roofline and large wood-sash fixed windows on the façade.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1938, 1938 Yuba City

City Directory

*P7. Owner and Address:

Bordsen Trust

1139 Gray Avenue

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 644 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 644 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-010 Previous APN: 01-185-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 644 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story, Spanish Colonial Revival commercial building constructed in circa 1934. It has a rectangular floor plan and the east-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in what appears to be the original textured stucco. It is covered by a moderately-pitched, front-gabled roof clad in corrugated metal sheets. There is a straight edged parapet at the façade topped with Spanish clay tiles. There are five windows on the façade symmetrically spaced. There are two large metal-sash fixed windows on either side of the entrance and located above them and the entrance door are metal-sash multi-paned windows shaped like curved mission parapets. The main entrance is located in the middle of the facade of the east elevation and consists of a metal door with a rectangular window. Marble panels surround the doorway. Decorative elements of this Spanish Colonial Revival commercial building include decorative metal attic vents, Spanish clay tiles at the roof line and four faux buttresses on the façade topped with Spanish clay tiles.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Bordsen Trust

1139 Gray Avenue

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 644 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. There is a narrow metal gate between 644 and 646 Plumas Street. Alterations include the possible replacement of the façade storefront windows and the façade entry door as well as the re-stuccoing of the façade in texture stucco. The condition of the building is excellent to good.

The Spanish Colonial Revival style was popular in California from around 1915 to the 1930s. Character-defining features of this style are exterior cladding in smooth stucco, clay tile roof, wood-sash single or double-hung windows, and decorative cast iron railings. This Spanish Colonial Revival style commercial building's character-defining features include Spanish clay roof tiles, a textured stucco surface, faux buttresses, decorative metal attic vents and mission parapet-style windows.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 646 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 646 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-024 Previous APN: 01-185-024

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 646 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately 1 mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in 1952. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in stucco and the façade is partially clad in red brick. It is covered by a flat roof clad in rolled composite sheets with a parapet. The windows on the façade are large metal-sash fixed windows with metal divisions and the windows are divided in sections by red brick clad pylons. The main entrance is sheltered by a fabric awning and is located on the south end of the façade and consists of a metal-framed glass door. The northern half of the building has two recessed entryways that are positioned at a 45 degree angle. One other entry is located in the northernmost recess and it contains a metal-framed glass door. Decorative elements of this building include red brick cladding on façade pylons. There is a cornerstone on a pylon on the south side of the façade which reads "Wold Building 1952."

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
1952, cornerstone on the south side of Façade which reads "Wold Building 1952"

*P7. Owner and Address:
Landon '97 Rv. Fam. Tr. et al
c/o City of Yuba City
1201 Civic Center Blvd
Yuba City, CA 95993

*P8. Recorded by: Name, affiliation, and address)
Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List)

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 646 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Alterations to the building include the attachment of a fabric awning to the façade.

This vernacular commercial building's character-defining features are a rectangular floor plan, a flat roof with a parapet, partial red brick cladding on the lower part of the façade and large metal-sash façade windows.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 652, 654 Plumas Street, Yuba City

P1. Other Identifier: 652 1/2 Plumas Street (from circa 1936 to circa 1968); Western Auto
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; _____ % of _____ % of Sec _____ ; B.M. _____
c. Address 652, 654 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-008 01-185-008

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 652, 654 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a two-story, commercial/residential building constructed in circa 1936. It has a rectangular floor plan and the east facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco, brick, and concrete blocks. It is covered by a flat roof clad in rolled composite sheets. There is a lighted marquee that extends perpendicularly from the building which hangs from a second-story metal balconette. There are several windows on the façade. The first floor has meta- sash fixed windows and a row of wood-sash fixed windows extending the width of each storefront and above the doorway leading up to the second floor apartments. The second floor has wood-sash double-hung windows. The main entrances to the stores are located in recessed entryways, each with metal-sash double doors made of glass. Between these two stores there is an iron security gate to a staircase leading to the upstairs apartments. Decorative elements of this commercial/residential building include two terra cotta brackets with cherubs and two faux Craftsman-style light fixtures at each corner of the doorway to the upstairs apartments and metal balconettes beneath each upstairs window.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1936, 1936 Yuba City

City Directory

*P7. Owner and Address:

Raul & Helen Ybarra

977 Bridge Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List)

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 652-654 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: January 6, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include a mature tree and small shrubs all in a large planter. There are no visible ancillary buildings on this property. Alterations include the replacement of the original doors and the installation of a new security gate to the entrance leading to the second story. The condition of the building is good to fair.

This vernacular commercial/residential building's character-defining features include a rectangular floor plan, a flat roof, exterior clad in stucco, red brick cladding on parts of the façade, wood-sash double-hung windows on the second floor, wood-sash fixed windows on the first floor, metal balconettes underneath the second story windows and terra cotta brackets flanking the entrance to second floor.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 653 Plumas Street, Yuba City

P1. Other Identifier: 437 Center Street (as indicated on a 1945 Sanborn map)
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 653 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-241-012 Previous APN: 01-201-012

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 653 Plumas Street in Yuba City, Sutter County. It is on the southwest corner of Plumas and Center Streets. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat

This building is a two-story simplified Art Deco-style commercial/residential building constructed in circa 1938. It has a rectangular floor plan and the southwest facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in brick and a façade and southeast elevation clad in smooth stucco and non-original volcanic rock cladding near the base of the façade. It is covered by a flat roof clad in rolled composite sheets. There are several windows on the façade. The first floor windows are large metal-sash fixed windows. The second floor windows are vinyl-sash single-hung windows. Other windows throughout the building consist of second-story vinyl-sash single-hung windows. The main entrance is located on the southwest corner of the building and consists of metal-framed glass double doors with sidelights. Other entrances are located on the south and east elevations and consist of metal-sash glass doors and metal doors. Decorative elements of this simplified Art Deco commercial/residential building include horizontal plaster lines that run across the façade and southeast elevation of the building as well as zigzag pattern impressions on the upper indented part of the façade and also on the southeast elevation on the lower half of the first floor windows.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic
☐ Prehistoric ☐ Both
Circa 1938, 1938 Yuba City
City Directory

*P7. Owner and Address:

Donald Huckins
439 Center Street
Yuba City, CA 95991

*P8. Recorded by: Name, affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy, Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 653 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: January 6, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include young trees on the city-owned sidewalk and small flowering shrubs in a volcanic rock planter in front of the main entrance door. There are no ancillary buildings on this property. Alterations include the replacement of the original windows on the second floor with vinyl windows, volcanic rock cladding on the lower part of the facade and the addition of a fabric awning over the front door. The condition of the building is good.

The building is designed in a simplified Art Deco style which was popular in California from around 1925 to 1940. Character-defining features of the Art Deco style are a vertical emphasis and accents with stylized design motifs. The exterior surface of the façade is characterized by a smooth surface, either stucco or poured concrete and the roof is flat.

This simplified Art Deco commercial/residential building's character-defining features are indented bordering with zigzag impressions on the upper edge of the façade and the southeast elevation and horizontal plaster lines across façade and southeast elevation.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 659, 661 Plumas Street, Yuba city

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 659, 661 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-241-009 Previous APN: 01-201-009

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 659, 661 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1934. It has a rectangular floor plan and the west-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system and the exterior is clad in smooth stucco and thin brick cladding on the lower part of the facade. It is covered by a flat roof clad in rolled composite sheets with a parapet. Each of the three storefronts has four windows on its façade. They are symmetrically spaced and consist of metal-sash fixed windows. Two of the windows face the street and the other two are angled towards the front door of the recessed entryway. The base of the middle storefront is taller than the other two storefronts. Windows on the southeast elevation are wood-sash double-hung windows. The main entrance for each storefront is located in a recessed entryway of the west elevation and consists of wood-framed doors with glass windows. The door for the middle storefront is a metal-framed glass door. Other entrances are located on the east elevations and consist of wood doors. Decorative elements of this vernacular commercial building include chicken wire tiles at the entrance of all three storefronts, thin brick cladding beneath all windows, and a fabric awning that extends the entire width of the façade.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking east at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic
☐ Prehistoric ☐ Both
Circa 1934, 1934 Yuba City
City Directory

*P7. Owner and Address:

Hothi Rev. Living Trust
1868 Allen Court
Yuba City, CA 95993

*P8. Recorded by: Name, affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy, Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 659, 661 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: January 6, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include mature trees on the city-owned sidewalk. There are no ancillary buildings on this property. Alterations include the replacement of the original door on the middle storefront and the attachment of a fabric awning to the facade. The condition of the building is good.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof with a parapet, chicken wire tiles on the landing of the storefront entrances, large metal-sash fixed windows and wood-sash double-hung windows on the southeast elevation.

PRIMARY RECORD

Primary # _____
HRI _____

Trinomial # _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 664, 666 Plumas Street, Yuba City

P1. Other Identifier: 660, 662, 668 Plumas Street (as indicated on a 1945 Sanborn map)

*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____

c. Address 664, 666 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-007 Previous APN: 01-185-007

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 664, 666 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1934. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco. It is covered by a flat roof clad in rolled composite sheets. There are several windows on the façade. They are asymmetrically spaced and consist of large metal-sash fixed windows. The main entrance for each store is located in recessed entryways of the east elevation and consists of a metal-framed glass doors. Decorative elements of this building include wood paneling and ceramic tiles around windows, moldings at the edge of the roofline, and rectangular and boxed-shaped moldings below the roof line.

The building fronts onto Plumas Street and is set behind the sidewalk level. There are no visible ancillary buildings on this property. Alterations include the re-stuccoing of the building, replacement of original windows, and the addition of fabric awnings, ceramic tiles, and a zigzag cantilevered overhangs around windows. The condition of the building is good. This vernacular commercial building's character-defining features are a rectangular floor plan, a flat roof and multiple metal-sash windows on the façade.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Blanchard Family Trust

13410 Driftwood Court

Penn Valley, CA 95946

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 673 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 673 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-241-005 Previous APN: 01-201-005

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 673 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center Street and Teegarden Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1953. It has a rectangular floor plan and the west-facing façade is symmetrical. The foundation is concrete. The building has wood structural system clad in stucco and thin decorative bricks. It is covered by a flat roof clad in rolled composite sheet with a parapet. The façade is almost entirely made up of windows. They are large metal-sash fixed windows. Windows on the southeast elevation are of metal-sash multi-paned hopper windows. The main entrance is located in the center of the facade and consists of a metal-framed glass door. Other entries are located on the southeast elevation and consist of double metal doors. Decorative elements of this building include a scalloped metal awning that extends the width of the façade with metal strip supports that extend from the roofline to the edge of the awning and a lighted marquee located above the awning.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking east at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1953, 1953 Yuba City

City Directory

*P7. Owner and Address:

Harold McNally Jr. Estate

1185 Woodhaven Drive

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 673 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. There are no ancillary buildings on this property. Alterations include the replacement of the façade entry doors. The condition of the building is good.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof with a parapet, large metal-sash windows, a metal awning on the façade and thin brick cladding on the façade.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 680 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 680 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-225-022 Previous APN: 01-185-022

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 680 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Forbes Avenue and Scott Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1953. It has a rectangular floor plan and the east-facing façade is symmetrical. The foundation is concrete. The building has a wood structural system clad in smooth stucco and the lower half of the façade is clad in marble panels. It is covered by a flat roof clad in rolled composite sheet with a parapet. There are large metal-sash fixed windows on the façade, symmetrically spaced. There are two main entrances and they are located on the south and north side of the facade and consist of metal-framed glass doors. A cantilevered overhang extends most of the width of the façade. Decorative elements of this building include marble paneling, large glass windows, a cantilevered overhang and molding at the roofline.

The building fronts onto Plumas Street and is set behind the sidewalk level. Landscaping elements include mature trees on the city-owned sidewalk. There are no visible ancillary buildings on this property.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1953, Yuba City

City Directory

*P7. Owner and Address:

Nickel D. & D. Fam. '04 trust et al

680 Plumas Street

Yuba City CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 680 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Alterations include the re-stuccoing of the building, as well as the addition of marble paneling on the lower half of the façade and decorative molding at the roofline of the facade. The condition of the building is excellent to good.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof with a parapet, large metal-sash fixed windows and a cantilevered overhang.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 701 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 701 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-241-013 Previous APN: 01-201-013

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)
The evaluated building is located at 701 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Center Street and Teegarden Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1936. It has a rectangular floor plan and the southwest-facing façade, which appears to have been altered in the circa 1950s, is asymmetrical. The foundation is concrete. The building has a combination of a wood and poured concrete (northeast addition) structural system. The exterior is clad in red brick, thin brick and smooth stucco. It is covered by a flat roof clad in rolled composite sheets with a straight-edge parapet. The façade is mostly made up of metal-sash floor-length fixed windows. Windows on the other elevations are floor-length metal-sash fixed windows and metal-sash windows that have been painted over and blocked off. The main entrance is located in the center of the facade and consists of a metal-framed glass door. Other entrances are located on the northeast and southeast elevations and consist of metal-framed glass doors and a solid wood door. Decorative elements of this building include a cantilevered overhang with ribbed cladding and neon lights on its face.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking east at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1936, 1936 Yuba City

City Directory

*P7. Owner and Address:

Tomlinson Rev. Trust

1007 Live Oak Blvd.

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List)

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 703 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include a cement planter on the city-owned sidewalk with a mature tree and shrubs growing within it. There is an asphalt parking lot that runs along the northwest side of the building. There are no visible ancillary buildings on this property. Alterations include the remodeling of the façade in the circa 1950s and the addition to the northeast elevation of a one-story, poured concrete and wood-framed building clad in stucco. The condition of the building is good.

This vernacular commercial building's character-defining features are a rectangular floor plan, a flat roof with a parapet and large metal-sash fixed windows on the façade and on the other elevations.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 710 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 710 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-194-020 Previous APN: 01-154-020

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 710 Plumas Street in Yuba City, Sutter County. It is on the southwest of Plumas Street and Forbes Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a two-story, vernacular commercial building constructed in circa 1934. It has a rectangular floor plan and the east-facing façade is asymmetrical. The building has a concrete foundation and a wood structural system clad in textured stucco. A pillar on the southeast corner of the building is clad in small square multi-colored ceramic tiles and volcanic rock cladding is located on the lower north area of the façade framing a window. The building is covered by a flat roof clad in rolled composite sheets. A circa 1930s image of the building shows that there was once a short roof on the façade roof edge which was clad in red clay tiles. There are four windows on the façade asymmetrically spaced. They consist of two metal-sash fixed windows located on the north side of the building and two metal-sash fixed windows on either side of main entrance. Windows on the other elevations are metal-sash fixed windows. There are metal-sash multi-paned casement windows on the second floor. The main entrance is located on the southern end of the west elevation and consists of a metal-framed glass door. Other entrances are located on the south elevation and consist of a metal door.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

Roger and Leticia Shadd

741 Plumas Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 710 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Decorative elements of this commercial building include small square multi-colored ceramic tiles on a pillar near the southeast corner of the building, volcanic rock cladding on the north lower section of the facade and a mural painted in the circa 1990s on the south elevation. The building fronts onto Plumas Street and is set behind the sidewalk level. There are no visible ancillary buildings on this property.

Alterations include the remodeling of the façade when the building was converted from a theater to a commercial building, the removal of a short roof clad in red clay tile on the façade, the addition of fabric awnings over windows and small square multi-colored ceramic tiles on a pillar near the southeast corner of the building. The condition of the building is good to fair.

This vernacular commercial building's character-defining features are a rectangular floor plan and a flat roof.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 715 Plumas Street, Yuba city

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 715 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-241-010 Previous APN: 01-201-010

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 715 Plumas Street in Yuba City, Sutter County. It is on the northwest corner of Teegarden Avenue and Plumas Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1946. It has an irregular floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a concrete block structural system and the exterior is made up of exposed concrete blocks that have been painted over. It is covered by a steeply-pitched hipped roof made of rolled composite sheets. It has no eaves. There are three paired windows on the façade. They are asymmetrically spaced and consist of metal-sash fixed windows. Windows on the other elevations are metal-sash fixed windows and aluminum-sash multi-paned fixed windows. The main entrance is located under the overhang of the west elevation and consists of a metal-sash glass door with glass blocks surrounding the door frame. Other entrances are located on the north and east elevations and consist of wood doors. Decorative elements of this building include a metal overhang extending the full width of the façade and supported by metal poles angling down from the façade to the top edge of the overhang.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the north elevation
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1946, 1946 Yuba City

City Directory

*P7. Owner and Address:

Jensens Trust

1805 N. Carson Street #146

Carson City, NV 89701

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy, Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List)

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 715 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include one relatively mature tree on the city-owned sidewalk. An iron fence borders the northwestern edge of the property. There are no ancillary buildings on this property. Alterations include an addition on the northern elevation, boarding up windows and replacement of original windows. The condition of the building is good to fair.

This vernacular commercial building's character-defining features are an irregular floor plan, a hipped roof, metal-sash fixed windows and a metal overhang extending the width of the façade.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 725 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 725 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-251-015 Previous APN: 01-211-015

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 725 Plumas Street in Yuba City, Sutter County. The building is on the southeast corner of Teegarden Avenue and Plumas Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1934. It has a rectangular floor plan and the west-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in a combination of red bricks (façade) and painted concrete blocks (southeast elevation). It is covered by a flat roof clad in rolled composition sheets with molding at the roof line. There are two windows on the façade. They are asymmetrically spaced and consist of aluminum-sash fixed windows. Windows on the other elevations are aluminum-sash fixed windows and wood-sash multi-paned hopper windows. The main entrance is located in a recessed entryway of the west elevation and consists of an aluminum-framed glass door. Decorative elements of this building include awnings over windows, iron latticework on the southern elevation and molding near the roof line.

The building fronts onto Plumas Street and is set behind the sidewalk level. Landscaping elements include box planters near the southeast elevation of the building. There appears to be one ancillary building near the northeast elevation of the property.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1934, 1934 Yuba City

City Directory

*P7. Owner and Address:

John and Nancy Tuscano

PO Box 706

Yuba City, CA 95992

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 725 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Alterations include the replacement of the original doors and windows, attachment of fabric awnings to the façade, iron latticework on the southeast elevation and molding near the roof line. The condition of the building is excellent to good.

This vernacular commercial building's character-defining features include a square floor plan, a flat roof and red brick cladding on the façade.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street, Yuba City

P1. Other Identifier: 506 Plumas Street (previous address until 1931); Teegarden House
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; % of _____ % of Sec _____ ; B.M.
c. Address 731 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-251-018 Previous APN: 01-211-018

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

731 Plumas Street is located in Yuba City, Sutter County. It is at the northeast corner of Plumas Street and Teegarden Avenue, approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat. This building is a two-story, Queen Anne single-family residence constructed in 1880. It has an irregular floor plan and the west-facing façade is asymmetrical. The building sits on a raised wood foundation. It has a timber frame structural system and is clad with a combination of horizontal wood clapboard siding and squared shingles. There is molding at the roofline. The building is sheltered by a steeply-pitched cross-gabled roof clad with diamond-shaped composition shingles. The single-family residence has one exterior chimney located at the south-facing gable wall. The principal entrance is located beneath a partial-width porch at the façade. The porch is one story in height and is sheltered by a secondary shed roof that projects from the façade. The roof is supported by three simple posts with a wood balustrade and stair rail. Brackets are visible underneath the eaves of the porch roof. The principal entrance consists of a solid wood door covered by a wood-framed screen door. Other entrances are located on the northeast elevation, but could not be observed.

(continued page 3)

*P3b. Resource Attributes: (List attributes and codes) HP2 Single family residence

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



Figure 1

P5b. Description of Photo: (view, date, accession #) View looking southeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic
☐ Prehistoric ☐ Both

1880; Lowe, Stark and McDougal-Stewart, *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*, Yuba City, California: Community Memorial Museum of Sutter County, c 1990.

*P7. Owner and Address:

Perry Mosburg Rev. Trust
731 Plumas Street
Yuba City, CA 95991

*P8. Recorded by: Name, affiliation, and address)

Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy, Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: Feb. 18, 2006

*P10. Survey Type: (Describe)

☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

BUILDING, STRUCTURE AND OBJECT RECORD

Page 2 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

B1. Historic Name: Dr. Eli Teegarden House; Jones & Ullrey (1925-1931); Jones Funeral Home/Jones Ambulance Service (1931-1934);
B2. Common Name: Sears Mortuary (1934-1936); Hogle, Byrne & Otis (1936-1938); Yuba City Mortuary (1938-1941)

Teegarden-Mosburg House
Single-family residence; mortuary and single-family residence
(1925-1941) boarding house and single-family residence (1941)

B3. Original Use: to at least the 1960s)

B4. Present Use: Single-family residence

*B5. Architectural Style: Queen Anne

*B6. Construction History: (Construction date, alterations, and date of alterations)

The evaluated building was constructed in 1880. In circa 1925, a one-story garage was added onto the rear elevation. A detached one-story garage was also constructed. And shed-like building was also built at this time at the rear of the property. In 1934, the southwest corner of the property was subdivided and a one-story brick commercial building with three storefronts was constructed on that location. The two garages and the commercial building still exist today. The shed has been demolished.

*B7. Moved? No

Original Location:

There is a one-car garage from circa 1925 located at the rear of the property. There is a 1934 one-story brick commercial building at 725 Plumas Street (historically 723-727 Plumas Street) at the southwest corner of what was historically part of the evaluated parcel. This commercial building is now a separate parcel (APN: 52-251-0104).

*B8. Related Features:

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme 1) Early development of Plumas Street, 2) Queen Anne architecture Area: Yuba City

1880-1961;

Period of Significance: 1880-1910 Property Type: Single-family residence Applicable Criteria: 1, 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Mosburg-Teegarden House was originally constructed in 1880 for Dr. Eli Teegarden. He was a local physician born in 1809 in Ohio. He came to California during the 1840s to seek his fortune in gold. Instead, Teegarden continued his practice as a doctor and became involved in other ventures. Along with William Foster, Teegarden helped to introduce flour milling to California in 1853 by constructing the Buckeye Mill, which was one of many that were to be established in Marysville. The Yuba City Flour Mill that was located on Bridge Street between Sutter and Yolo Streets was likely the indirect result of Teegarden's introduction of flour mills to California. Teegarden also served two years (1865 and 1867) in the California legislature, representing Sutter County.

(continued page 3)

B11. Additional Resource Attributes (List attributes and codes)	None
*B12. References:	See page 7
B13. Remarks:	None
*B14. Evaluator:	Christeen Taniguchi
	Galvin Preservation Associates
	1611 South Pacific Coast Highway, Suite 104
	Redondo Beach, CA 90277
*Date of Evaluation:	February 18, 2006

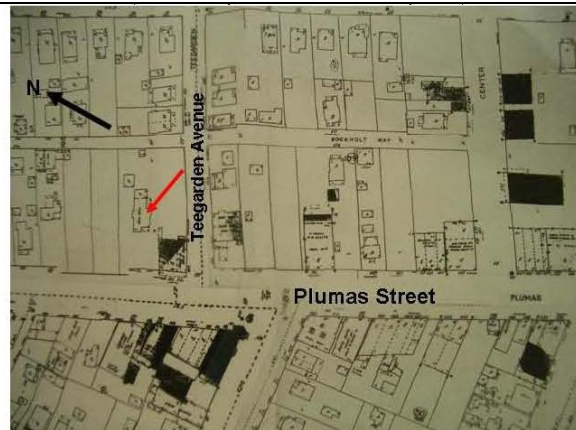


Figure 2: Red arrow points to the evaluated building as shown on 1945 Sanborn map (ProQuest)

CONTINUATION SHEET

Page 3 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

(continued from page 1)

***P3a. Description:**

There are eight windows at the façade. They are asymmetrically spaced and consist of seven wood-sash double-hung windows. Beneath the porch there is a wood-sash fixed window with diamond-shaped panes. Windows at the other elevations are wood-sash double-hung windows. There are two-story bay windows at the facade and the southeast elevation. The facade bay window is topped by a pyramidal hipped roof clad with fishscale shingles; it has dentil molding and is capped by a finial. The southeast bay window is topped by a pediment.

Decorative elements of this Queen Anne include diamond-shaped and fish-scale roof shingles, decorative moldings, bay windows, a partial-width porch, multiple steep roofs and a combination of exterior wall treatments.

The building fronts onto Plumas Street and is set behind a lawn that extends out to sidewalk level. Landscaping elements include two mature palm trees among various other mature trees and shrubs. There is a dirt driveway that runs along the north side of the building and a concrete pathway that leads from the sidewalk to the front entrance. A chain link fence extends along the east and south boundaries of the property. There appear to be two ancillary buildings on the eastern end of the property. Alterations include a one-story addition to the northeast elevation. The condition of the building is good.

(continued from page 3)

***B10 Significance:**

This residence was built at a time when Teegarden owned extensive land on which he cultivated orchards. His wife Deborah Ann had already passed away in 1873. He died in 1884, only four years after constructing this house. This large property was then subdivided four years later as the "Teegarden Addition." This is likely when Plumas Street began to take shape and the other residences along this street were constructed during the late nineteenth to early twentieth centuries. Most of these other houses were one-story tall.

The Teegarden-Mosburg House went through several hands before being acquired by David and Julia Kiley in 1904, who also lived in the residence. The property came into the hands of Mary Adeline Russell, Kiley's stepdaughter, in 1922. By the 1920s, Plumas Street between Colusa Avenue and Bridge Street was gradually becoming Yuba City's new downtown commercial district. Just as development expanded westward along Bridge Street, downtown commercial enterprises also shifted in this direction. Second Street near the Feather River had been the original downtown. After it was damaged by a fire in 1907, buildings were rebuilt but this was not enough to reestablish the street as the downtown core.

As Plumas Street became increasingly commercial, the evaluated building adapted to this changing need in 1925 when it was converted into a funeral home. It would continue to be used as such for nearly two decades. It is likely that this residence survived because it adapted early on to commercial uses. It became a funeral home called Jones & Ullrey, which also provided ambulance services. Hugh Percy Jones and Bert M. Ullrey were the funeral directors and also lived in the house. The change from purely residential to residential and commercial, particularly one that was providing ambulance service, is illustrated by the addition of attached and detached garages to the property in circa 1925. By 1929, Jones no longer lived in the residence; it was instead occupied by Jones & Ullrey's embalmer, Arthur G. Sears and his wife Analena. Jones had by this time moved with his wife Inez to a home at Colusa and Gray Avenues (886 Colusa Avenue) and had become Sutter County deputy coroner. There is currently an AM/PM gas station at this property. By 1931, the business was called the Jones Funeral Home/Jones Ambulance Service. It is likely that the name change was the result of Ullrey temporarily getting out of the mortuary business since the city directory from that same year indicates that he was by then the sheriff of Sutter County. However in 1942, while still serving as sheriff of Sutter County, Bert Ullrey partnered with his relative Burwell Ullrey and started a mortuary business (Ullrey Memorial Chapel) at 817 Almond Street. By 1931, Sears was no longer a resident at the evaluated building and it was occupied by Helen Coffey.

The name of the business located in the Teegarden-Mosburg House changed again by 1934 with the home being occupied by Sears Mortuary. Also providing ambulance service, Arthur and Analena Sears moved back into this home. The Jones Funeral Home/Jones Ambulance Service had by this time moved to 511 Reeves Avenue. Jones also continued to be Sutter County's deputy coroner. In addition, a one-story commercial building was constructed at the southwest corner of the property in 1934.

CONTINUATION SHEET

Page 4 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

By 1936, the business name again changed to Hogle, Byrne & Otis, who were also funeral directors providing ambulance service. Lawrence F. Otis lived in the house at this time. The other partners of this enterprise were Milton Hogle and William F. Byrne. The last name change came in 1938 by which time the business was the Yuba City Mortuary operated by Ancel J. Hotchkiss, who also lived in this residence with his wife Leola.

The property was purchased by Perry and Edith Mosburg in 1941. They turned the building into a boarding house, in which they were also residents. Perry owned a business across the street called Golden State Auto Wreckers, at 726 Plumas Street. In 1950, he sold this business and purchased a Sports Shop at 739 Plumas Street. Mosburg was also a city council member from 1942 to 1952, and was Yuba City's mayor from 1946 to 1947. Mosburg retired in 1967. Edith passed away in 1977, and Perry continued living in the home on his own. Of the single-family residences that existed along the commercial strip of Plumas, only the Teegarden-By 1936, the business name again changed to Hogle, Byrne & Otis, who were also funeral directors providing ambulance service. Lawrence F. Otis lived in the house at this time. The other partners of this enterprise were Milton Hogle and William F. Byrne. The last name change came in 1938 by which time the business was the Yuba City Mortuary operated by Ancel J. Hotchkiss, who also lived in this residence with his wife Leola.

The property was purchased by Perry and Edith Mosburg in 1941. They turned the building into a boarding house, in which they were also residents. Perry owned a business across the street called Golden State Auto Wreckers, at 726 Plumas Street. In 1950, he sold this business and purchased a Sports Shop at 739 Plumas Street. Mosburg was also a city council member from 1942 to 1952, and was briefly Yuba City's mayor from 1946 to 1947. Mosburg retired in 1967. Edith passed away in 1977, and Perry continued living in the home on his own. Of the single-family residences that existed along the commercial strip of Plumas, only the Teegarden-Mosburg House remains.

The Teegarden-Mosburg House was constructed in 1880 in the Queen Anne style. This was a popular domestic Victorian style from approximately 1880 to 1910. The style was named by a nineteenth century English architect Richard Norman Shaw and his colleagues. Despite its name, the style did not relate directly to the English Queen Anne's reign during the early eighteenth century, but instead initially borrowed from late Medieval architecture with half timbering and patterned masonry. The style has since then developed its own identity with the use of spindle work, roof cresting and creative use of patterned wood shingles. This Queen Anne residence is a subdued and rural example of this style, without the usual spindle work, gable ornamentation and lace-like brackets associated with this style. The Teegarden-Mosburg House's character-defining features include an asymmetrical façade, a partial porch, horizontal wood clapboard siding, squared and fishscale shingles, bay windows, roofline moldings and multiple steeply-pitched roofs.

Integrity Statement

The subject building was evaluated against the seven aspects of integrity as outlined in the California Register of Historical Resources guidelines. They are location, design, setting, materials, workmanship, feeling, and association.

The evaluated single-family residence retains its original location; it has not been moved.

Eli Teegarden owned a substantial amount of farm land on which he constructed this house in 1880. He cultivated fruit orchards. In 1888, the land was subdivided as the "Teegarden Addition," with early development along this street consisting of single-family residences. As the twentieth century progressed, Plumas Street gradually became Yuba City's downtown district. Former residences were demolished over time and replaced with commercial, entertainment and service buildings. This change can even be seen on the evaluated property, where a southwest corner of it was subdivided in 1934 to build a small one-story brick commercial building. Thus the evaluated building evolved from being a farm house in the middle of an orchard to being one of a row of houses along a residential street. Now it is the sole residence remaining on what is now a commercial street. Therefore, the setting, feel and association of the surrounding property have changed significantly since the residence was originally constructed. However, despite the loss of its original surrounding orchards, the evaluated building is still located on a sizeable parcel. Older features such as the concrete walkway that leads up to the front entrance and surrounding mature landscaping also contribute to the residence's intact immediate setting, feel and association.

The evaluated building was constructed in 1880 in a subdued and rural example of the Queen Anne style. The building retains many of its original characteristics such as its asymmetrical façade, partial porch, horizontal wood clapboard siding, squared and fishscale shingles, bay windows, roofline moldings and multiple steeply-pitched roofs. The only alterations are early additions. By 1927, a garage was added onto the rear elevation of the residence, and a detached garage and shed were constructed at the rear of the property. These changes to the property, however, were not only minor and located at the rear, but they have also acquired significance in their own right. Therefore, the building's design, materials and workmanship are intact.

Therefore, the integrity of the building is good to excellent.

California Register of Historical Resources Evaluation

The property was assessed under California Register of Historical Resources (CRHR) Criterion 1 for its association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. This building was constructed in 1880 for Dr. Eli Teegarden, a local physician who was also involved in politics, fruit cultivation

CONTINUATION SHEET

Page 5 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

and flour milling. In 1888, the land was subdivided as the "Teegarden Addition," with early development along this street consisting of single-family residences. As the twentieth century progressed, Plumas gradually became a downtown district. Former residences were demolished over time and replaced with commercial buildings. This change can even be seen on the evaluated property, where a southwest corner of it was subdivided in 1934 to build a small one-story brick commercial building. The evaluated building evolved from being a farmhouse in the middle of an orchard to being one of a row of houses along a residential street. It is now the sole residence remaining on what is now a commercial street. Although the fruit trees are now gone, this residence has retained a high level of integrity. Thus, it is still an important reminder of Yuba City's early history when orchards still dominated the Plumas Street area. Therefore, this property qualifies for the CRHR under Criterion 1.

The property was considered under Criterion 2 for its association with the lives of persons important to local, California, or national history. The building was originally associated with Dr. Eli Teegarden. Teegarden was a local physician, businessman, fruit cultivator and politician. Along with William Foster, Teegarden helped to introduce flour milling to California in 1853. Teegarden also served two years (1865 and 1867) in the California legislature, representing Sutter County. He was a known member of Yuba City society. He also had an extensive orchard on land surrounding the evaluated house. Teegarden was a significant individual in Marysville and Yuba City's history, who contributed as a physician, businessman and politician. However, this evaluated property appears to more closely be associated with his retirement, a place where he cultivated fruit trees in those years. Four years after constructing this house, Teegarden died at the age of 75 years.

After Teegarden's death in 1884, the land was subdivided in 1888 as part of the Teegarden Addition tract. After Teegarden's residency, the property was occupied by a variety of people associated with the mortuary business. These included funeral directors Hugh Percy Jones and Bert M. Ullrey, and embalmer, Arthur G. Sears. Lawrence F. Otis, William F. Byrne and Milton Hogle of Hogle, Byrne & Otis were also funeral directors who occupied this building. There is no evidence to show that any of the persons associated with the building's mortuary business are important to local, California or national history.

The current owner is Perry Mosburg, who acquired the property in 1941, using the house as both a residence and boarding house. He was also a prosperous businessman, owning businesses along Plumas Street, and also served on the Yuba City Council and was mayor. Although Mosburg is a noted member of his community, and he may at one point be considered an important person to Yuba City's history, an association with a living person is usually not eligible for inclusion in the CRHR because sufficient time has not elapsed to assess the person's contributions to his field. Therefore, this property does not qualify for the CRHR under Criterion 2.

The property was evaluated under Criterion 3 for embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master or possessing high artistic values. The evaluated building was constructed in 1880 in a vernacular Queen Anne style. The building has a high level of architectural integrity, retaining characteristics of this style such as its asymmetrical façade, partial asymmetrical porch, horizontal wood clapboard siding, squared and fishscale shingles, bay windows, roof line moldings and multiple steeply-pitched roofs. In 1925, a garage was added onto the rear elevation of the residence, and a detached garage and shed were constructed at the rear of the property. These alterations to the property, however, were not only minor and located at the rear, but they have also acquired significance in their own right. The building is an intact and excellent example of a vernacular Queen Anne building of this era. Therefore, the building does retain the distinctive characteristics of a type and period of construction. The architect name is unknown, but it is unlikely that the designer was a master. In addition, the building does not possess high artistic values. Therefore, this property does qualify for the CRHR under Criterion 3 as a distinctive example of the vernacular Queen Anne style.

The property was considered for Criterion 4 for having yielded, or having the potential to yield, information important to the prehistory or history of the local area, California, or the nation. This is not the case with this property. Therefore, this building does not qualify for the CRHR under Criterion 4.

In summary, *the property appears to qualify for the California Register under Criteria 1 and 3* Therefore, this property is a historical resource for the purposes of the California Environmental Quality Act (CEQA).

CONTINUATION SHEET

Page 6 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

The house was profiled in *Worth Keeping* by Jacqueline Lowe, Julie Stark and Danae McDougal-Stewart, 1990, page 55

The Teegarden-Mosburg House

The Mosburg House is a residential remnant of the "Teegarden Addition" to Yuba City developed by the Sutter Development Company in the 1880s, in what is now the business section of downtown Yuba City. Located on Plumas Street, the house was built in 1880 for Dr. Eli Teegarden, a prominent Yuba City physician, who owned a large portion of the land surrounding the house. After going through a series of owners, the house was purchased by David and Julie Kiley in 1904.

The Kiley family lived there for 18 years, with the house passing in the ownership of Mary Adeline Russell, Kiley's stepdaughter, in 1922. From the 1920s to 1939, the house was used as a mortuary or "undertakers." Perry and Edith Mosburg purchased the house in 1941. Perry still resides there today.

The Mosburgs used the house as both family residence and as a rooming house. The family lived in the main part of the house and rented rooms in the basement, attic, and the second floor. Rooms were rented during World War II and the Korean War due to a shortage of housing at then Camp Beale. There were as many as nine roomers in the house at any given time, in addition to the Mosburg family of four, which included their daughters Joyce and Barbara.

The house has only two bathrooms, both added after the house was built. The bathroom on the second floor was shared by roomers on that floor and the attic. The main floor bathroom had to be shared by the family and the roomers in the basement. Daughter Joyce Mosburg Hansen recalls that time spent there was precious and spare.

Roomers at the Mosburg House took their meals out, eating at one of the restaurants or cafes along Plumas Street. Edith Mosburg did the cleaning and maintaining of rooms and, as the children grew older, they helped her. Joyce remembers the weekly cleaning:

Everyday (except weekends – Make the beds and give the rooms a clean towel)

Monday: Wash day with everything hung outside to dry. Sheets were sent to the Yuba-Sutter laundry on Sutter Street.

Tuesday: Ironing Day using a mangle iron (large iron press using rollers to smooth damp cloth).

Wednesday: Clean the rooms on the second floor and the attic. Included changing the sheets, emptying trash, vacuuming and cleaning the bathroom.

Thursday: Day off

Friday: Wash towels. Clean the three rooms in the basement.

Saturday: Clean the family living quarters.

Sunday: Tend to yard work.

While Mrs. Mosburg and her daughters tended to the rooming house, Perry was active in the community. He came to Yuba City in 1932 to open the first tire retreading shop in the area. From 1941 to 1949, he owned the Golden State Wrecking Shop built from the old Marysville Racetrack building, which was torn down, brought across the river to Yuba City in pieces, and reconstructed across the street from the Mosburg home. The building still stands and now houses Feather River Office Machines and Supplies. In 1950 Perry built Mosburg Sporting Goods on property he owned next to his home at 739 Plumas. From 1942 to 1952, he served on the Yuba City Council.

The Mosburg House has approximately 20 rooms including octagon-shaped rooms in the turret at the front of the house. There is a well in the basement, believed to have been used at one time to pump water directly to the kitchen. The bricks in the basement, so the story goes, came around Cape Horn from New York, up past San Francisco and along the Sacramento River to be unloaded in Marysville.

The old barn, located behind the house, was purchased from Henry Plymire in 1911, by Louis Rockholt who converted it into a home for his new bride Lottie Miller. The alleyway behind the Mosburg house has since been named Rockholt Way.

Barely visible between the Mosburg house and the bar is a paved walkway, probably used by the women of the house to get to the barn without getting their long skirts muddy. This is believed to be the first sidewalk in Yuba City.

The Mosburg House stands among the bustling businesses of Plumas Street as a reminder of days gone by and a benchmark of the changes that Yuba City has experienced in the last one hundred years.

Although the shape of this house is Queen Anne, its decorative elements belong to the massive Richardsonian shingle-covered country houses of the East Coast in the 1890s. It shows up in the gable on porch windows, but much more significantly in the bowed and shingled "eyebrows" and the unusual chimney, which although constructed of brick, is modeled to convey the rustic look of random brick and stone. These unique characteristics make this building an important local link on the nation's architectural evolution.

CONTINUATION SHEET

Page 7 of 10

*Resource Name or # (Assigned by recorder) 731 Plumas Street

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 18, 2006 ☒ Continuation ☐ Update

*B12. References:

California State Library California Room

Schnabel, R.A. "Panel Discussion: Burt Ullrey, Frank Bremer, Hug Moncur, Arthur Coats, Eugene Boyd, Edmond VonGeldem." *Sutter County Historical Society News Bulletin* (1958): 3-16.

Community Memorial Museum of Sutter County

Barkas, Sherry. "Rooted Deep in the Soil of Yuba-Sutter." *Appeal-Democrat*, 6 April, 1998.

Chamber of Commerce Map, circa 1930.

Coping with Disaster: Voices from the 1955 Flood, Sutter County California. Yuba City, California: Sutter County Heritage Publications, c1995.

Dickey, John. "From the Gold Rush to the Space Race." *Appeal-Democrat*, 21 November, 2004.

"Here's to Our History! In Celebration of Yuba City's 77th Anniversary." Supplement to the *Yuba City Valley Herald*, 23 January, 1985.

Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City & Marysville, California: Community Memorial Museum of Sutter County and Mary Aaron Memorial Museum, c1990.

Map of Teegarden Addition to Yuba City, 23 June, 1888.

Map of the City of Yuba City Sutter County, no date.

Map of Yuba City, 29 November, 1856.

Marquette, Dick. "Recalling a Few of the Favorite Places..." *The Times of Yuba-Sutter*, 23 January, 1998.

Myrtle. (personal recollections of Yuba City history), 17 March, 1989.

Newfield, Lou. 1965. "Yuba City as I Knew It." *News Bulletin Sutter County Historical Society*, September.

Sutter County Scenic Tour: A Guide to Historical, Cultural and Scenic Points of Interest, Yuba City, California: Community Memorial Museum, revised May 2004.

Thomas Brothers Map of Marysville and Yuba City, 1 November, 1928.

United States Geological Survey Map (Yuba City), 1952 (photo revised 1973).

Various photographs of Bridge and Plumas Streets from circa 1930s to 1955.

Weeks, Steve. "From a Quiet Beginning: Yuba City Celebrates its 75th Year." *Appeal-Democrat*, 1 October, 1983.

Young, Rob. "Mosburg House Future Hazy." *Appeal-Democrat*, 17 May, 2005.

"Yuba City 75th Anniversary Edition." *Yuba City Valley Herald*, 19 January, 1983, 1-16.

Yuba City City Directory (1938, 1958).

Los Angeles Public Library (Central Branch)

Yuba City City Directory (1922, 1923, 1925, 1929, 1931-32, 1934, 1936, 1940, 1946, 1953, 1957, 1959-1962, 1968).

Online sources

http://en.wikipedia.org/wiki/Funeral_home (information on funeral homes).

<http://www.rootsweb.com/~ohrichla/BiographyShelf/T.htm> (originally from Richland Shield & Banner, vol. lxxvii, no. 50, 27 April, 1895. (information on Eli Teegarden).

<http://www.yubaroots.com/history/hycch-xxii.htm>, "History of Yuba County California," Chapter XXII-Manufacturers of Marysville (information on Eli Teegarden).



Figure 3: View looking northeast at the façade



Figure 4: View looking southeast at the northwest elevation



Figure 5: View looking northeast at the southeast elevation



Figure 6: View looking northwest, with the garage seen to the northeast of the house



Figure 7: View looking northeast at the façade entrance



Figure 8: View looking northeast at the concrete walkway leading to the façade entrance

CONTINUATION SHEET

Page 9 of 10

Primary # _____

HRI _____



Figure 9: View looking northeast at roof cladding on the faced two-story bay window



Figure 10: "Teegarden-Mosburg House circa 1900." (Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City, California: Community Memorial Museum of Sutter County, c 1990) (Originally from the collection of Joyce Mosburg Hansen)

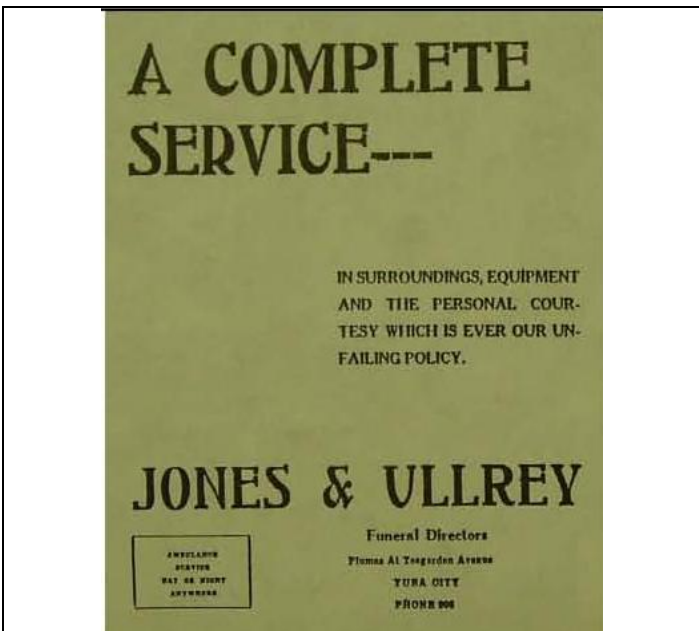


Figure 11: Advertisement for Jones & Ullrey from the 1926 Marysville Appeal (Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City, California: Community Memorial Museum of Sutter County, c1990) (Originally from the collection of Joyce Mosburg Hansen)

CONTINUATION SHEET

Page 10 of 10

Primary # _____

HRI _____

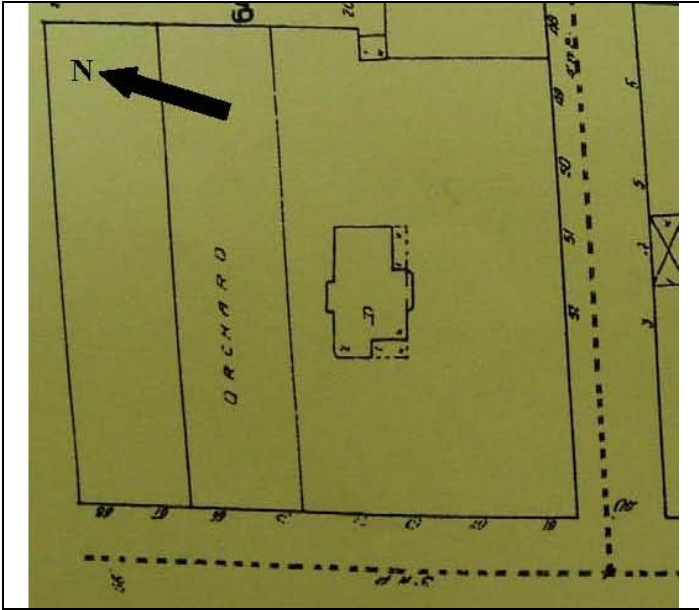


Figure 12: 1909 Sanborn map showing the evaluated building with its original plan. The orchard to the northwest is an indication of the still rural character of Plumas Street at that time (ProQuest)

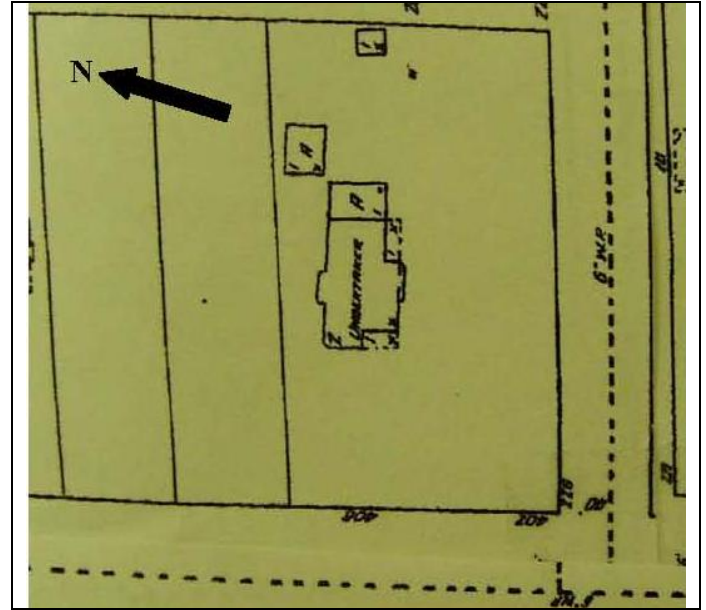


Figure 13: 1927 Sanborn map showing that the evaluated building is now occupied by an undertaking business. The garage attached at the rear and the additional garage to the north were likely being used to house ambulances. (Pro Quest)

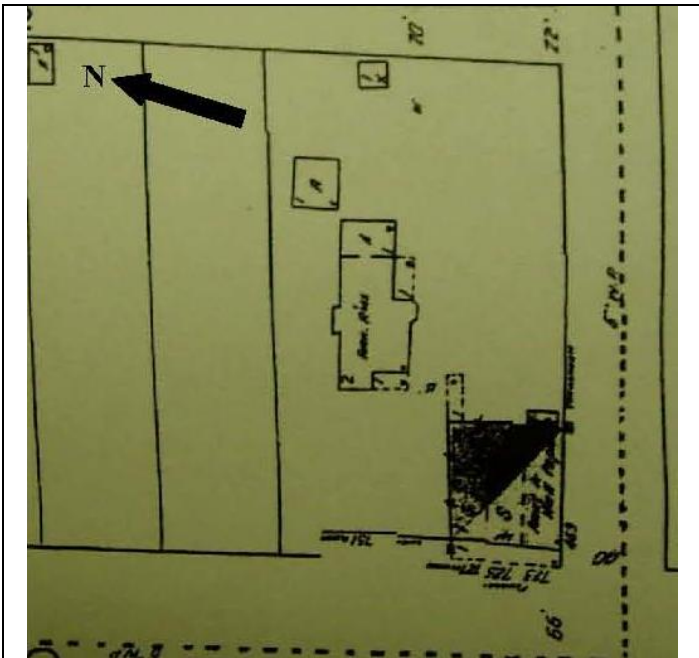


Figure 14: 1945 Sanborn map shows the evaluated building has "furnished rooms," indicating its use as a boarding house. In addition, the south corner of the property was subdivided for a 1934 one-story commercial brick building with three storefronts (ProQuest)

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 732 Plumas Street

P1. Other Identifier: Bank of America
***P2. Location:** ☐ Not for Publication ☒ Unrestricted ***a. County** Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
***b. USGS 7.5' Quad** Yuba City **Date** 1993 **T** _____ **R** _____ **% of** _____ **% of Sec** _____ **B.M.** _____
c. Address 732 Plumas Street **City** Yuba City **Zip** 95991
d. UTM: (Give more than one for large and/or linear resources) **Zone** _____ **mE/** _____ **mN** _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) **APN:** 52-194019 **Previous APN:** 01-054-019

***P3a. Description:** (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 732 Plumas Street in Yuba City, Sutter County. It is near the northwest corner of Teegarden Avenue and Plumas Street. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story, commercial building constructed in circa 1953 in a simplified Modern style. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building most likely has a wood structural system clad in textured stucco. It is covered by a flat roof clad in rolled composite sheets. There are three windows on the façade. They are symmetrically spaced and consist of metal sash, multi-paned and multi-sized fixed windows. The main entrance is located in the center of the facade and consists of metal-framed double glass doors. There are metal-framed sidelights on either end of the doors and three metal-sash fixed windows above the door frame. There appears to be a narrow recessed entrance on the south side of the façade.

The building fronts onto Plumas Street and is set behind the sidewalk level. There is an asphalt parking lot that runs along the north side of the building. There are no visible ancillary buildings on this property. Alterations include the possible re-cladding of the exterior surface and the replacement of the original doors. The condition of the building is fair.

(continued page 2)

***P3b. Resource Attributes:** (List attributes and codes) HP6 1-3 story commercial building

***P4. Resources Present:** ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

***P5a. Photograph or Drawing** (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

***P6. Date Constructed/Age and**

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1935, 1935 Yuba City

City Directory

***P7. Owner and Address:**

Roger and Susan Abe

PO Box 3659

Yuba City CA 95992

***P8. Recorded by:** Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

***P9. Date Recorded:** January 6, 2006

***P10. Survey Type:** (Describe)

☐ Intensive

☒ Reconnaissance

***P11. Report Citation:** (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

***Attachments:** NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 732 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a.Description:** (continued from page 1)

The building is designed in a simplified Modern style. The Modern style was popular in California from around the 1930s to the mid-1950s. Typical character-defining features of the Modern style are unadorned exterior walls which are typically made of poured concrete, metal casement windows framed by a concrete border and clean lines.

The building exhibits the following character-defining features: metal-sash windows with multi-sized panes, unadorned exterior walls and clean lines.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 739, 741 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 739-741 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-251-009 Previous APN: 01-211-099

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 739, 741 Plumas Street in Yuba City, Sutter County. It is on the east side of Plumas Street between Teegarden and Colusa Avenues. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in circa 1953. It is likely that the evaluated building was constructed separately and that a large addition with two storefronts (741 Plumas Street) was made to an existing single storefront building (739 Plumas Street) in circa 1950s; the buildings are now essentially one building. It has a rectangular floor plan and the southwest-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in concrete blocks with the façade clad in smooth stucco, thin red brick cladding surrounding the entrance to 739 Plumas Street and square painted ceramic tile cladding near the base of the entrances to 741 Plumas Street. It is covered by a flat roof clad in rolled composition sheets with a parapet. The building appears to have one chimney on the roof near the southeast elevation. There are three storefronts on the façade. They are asymmetrically spaced and consist of aluminum-sash fixed windows and there is a wood-sash fixed window over the entrance to 739 Plumas Street. There do not appear to be windows on the other elevations. There are three entrances on the façade that are symmetrically spaced. They consist of one recessed and angled entrance (739 Plumas Street) with an entrance door that is off-center and is sheltered by a short secondary roof and the rest of the storefronts are recessed with centrally-located entrance doors and a metal beam above the entrance which was likely a support for a fabric awning. The entrance doors consist of original wood-framed doors with glass panels and there are various back-lit signs attached to the façade above the entrances.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southeast at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1953, 1953 Yuba City

City Directory

*P7. Owner and Address:

Perry Mosburg Rev. Trust

731 Plumas Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: Feb. 22, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 739-741 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 22, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

Decorative elements include what appears to be plaster bracketing near the upper part of the façade of 741 Plumas Street, and red brick cladding on the southwest corner of the building.

The building fronts onto Plumas Street and is set behind the sidewalk level. Landscaping elements include two fairly mature trees on the city-owned sidewalk. There appears to be one ancillary building on the property that consists of a small shed with a wide vertical board siding and a corrugated metal roof. There is a vacant lot to the southeast of the building. Alterations to the building include the installation of an air conditioning unit above the entry door to 739 Plumas Street.

This vernacular commercial building's character-defining features include a rectangular floor plan, a flat roof, large metal-sash fixed windows, thin red brick cladding near the entrance to 739 Plumas Street, and plaster bracketing on the upper part of the façade of 741 Plumas Street.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

P1. Other Identifier: Sutter Theater
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 752, 754, 756 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-017 Previous APN: 01-124-017

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 752-756 Plumas Street in Yuba City, Sutter County, at the northwest corner of Plumas and Church Streets. 752 and 756 are commercial storefronts, and 754 is the Sutter Theatre. It is located approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a tall one-story motion picture theater and commercial building constructed in 1950 in the Modern style. It has an irregular floor plan and the east-facing façade is symmetrical. The foundation is concrete. The building is sheltered by a flat roof with a slightly-arched central portion (where the main theater space is located), covered with rolled composite sheets. The building appears to have a wood structural system and is clad with a cementitious stucco material.

(continued page 3)

*P3b. Resource Attributes: (List attributes and codes) HP10 Theater, HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



Figure 1

P5b. Description of Photo: (view, date, accession #) View looking southwest at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1950, 1950 Yuba City

City Directory

*P7. Owner and Address:

Sutter Performing Arts Assn.

PO Box 1360

Yuba City, CA 95992

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: Feb. 21, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

BUILDING, STRUCTURE AND OBJECT RECORD

Page 2 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 21, 2006 ☒ Continuation ☐ Update

B1. Historic Name: Sutter Theater

B2. Common Name: Same

B3. Original Use: Movie theater and commercial stores

B4. Present Use: Same

*B5. Architectural Style: Modern

*B6. Construction History: (Construction date, alterations, and date of alterations)

The evaluated building was constructed in 1950.

*B7. Moved? No Original Location:

*B8. Related Features: None

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Neighborhood Movie Theater Architecture

Area: Yuba City

Period of Significance: 1950-1961

Property Type: Movie theater

Applicable Criteria: 3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The Sutter Theater was constructed in 1950 as a single-screen neighborhood movie theater on Plumas Street in Yuba City. The theater opened on March 31, 1950 when Plumas was Yuba City's commercial downtown district. This was the only movie theater in Yuba City, and was a center for the community's entertainment needs. The previous movie theater in Yuba City was the Smith's Theatre located at 710 Plumas Street. With the opening of the new Sutter Theatre, this older theater closed. Although the former Smith's Theatre building still stands, the original marquee and signage have since been removed.

The first manager in 1950 of the new Sutter Theatre was Richard Pennington. By 1953, the theater manager was Raymond T. Butler. However, by the following year, Richard Pennington was once again the theater's manager. Pennington may have been the manager at the time of the December 24, 1955, flood that devastated Yuba City, including Plumas Street. By 1957, the manager of the theater was Tom Bennet. He would remain as manager of the theater until 1961, when Byron Berkley became the next manager. In 1963, Ralph G. St. Onge became the next manager of the theater and would remain as manager of the theater up to 1968. Management information of the theater after 1968 is not available. The owner of the property at the time of construction of the theater building is unknown. By 1981, the property was owned by Marysville Theater Company. In 1990, Central Valley Cinemas Inc. purchased the property. From 1992 to 1996, Silver Screen Amusements owned the property and later the Theatrical Promotions Inc. It is currently owned by the Sutter Performing Arts Association. The Sutter Theatre is still being used as a first run movie theater, although it has been converted from a single-screen to three-screen theater. There are plans by its current owners to convert the theater into a performing arts center. Along with the city's water tank located at Bridge and Plumas Streets, the theater's marquee is a prominent visual landmark along the Plumas.

B11. Additional Resource Attributes (List attributes and codes) None

*B12. References: See page 5

B13. Remarks: None

*B14. Evaluator: Christeen Taniguchi

Galvin Preservation Associates

1611 South Pacific Coast Highway, Suite 104

Redondo Beach, CA 90277

*Date of Evaluation: February 21, 2006



Figure 2: Red arrow points to evaluated building as shown on 1998 aerial map (courtesy of <http://teraserver.microsoft.com>)

CONTINUATION SHEET

Page 3 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 21, 2006

☒ Continuation

☐ Update

(continued from page 1)

*P3a. Description:

The principal theater entrance is located at the east-facing façade and is sheltered by a flat roofed projection. It is located within a recessed entrance porch. The floor at this entrance is clad with terrazzo. The base of the walls at the façade and the walls within the recessed entrance porch are clad with original square glazed green tiles accented with thin red glazed tiles. There are theater poster display cases on the walls of this entrance. The principal entrance consists of two sets of steel-framed glass double doors. An original box office kiosk with an irregular floor plan is located at the center of the entrance porch near the sidewalk. The upper half of the box office is made of glass while the exterior of the bottom half is clad with what appears to be corrugated metal. There are round recessed lights at the ceiling of the recessed entrance porch. There is a horizontal angled marquee with neon lights mounted at the center of the façade above the theater entrance. A tall angled vertical pylon is mounted on the roof at the north end of the theater entrance with the word "Sutter" advertised on both sides. The south side of the theater consists of a wall divided into five bays. It has no windows or entrances.

752 Plumas Street (storefront): Located at the northwest corner of Plumas and Church Streets, there are two windows at the façade at this storefront. They are asymmetrically spaced and consist of steel-framed fixed storefront windows. Windows at other elevations are also steel-framed fixed windows. The principal entrance is located on the corner of the southeast elevation and consists of a steel-framed glass door with three metal strips extending the width of the door serving as door handles. Above the door there is a transom with jalousie panes. The entrance is set back from the street at an angle and has a terrazzo floor.

756 Plumas Street (storefront): There are four display windows at the façade of this storefront. They are symmetrically spaced and consist of two steel-framed fixed storefront windows facing the street. There are two steel-framed fixed windows angled in towards the front door. The principal entrance is located in the recessed entryway of the east elevation and consists of a steel-framed glass door and has a terrazzo floor. A cantilevered overhang extends the width of this façade.

The building fronts onto Plumas Street and is set flush at the sidewalk. There is no landscaping or ancillary buildings associated with this building. The condition of the building is good.

(continued from page 3)

*B10 Significance:

Theaters of the post-World War II era were often designed in a Modern style similar to that found at the Sutter Theater. The marquees were very prominent and exaggerated, often using pylon-style vertical features such as the one at the evaluated building. The neon and angled horizontal marquee mounted at the façade of the Sutter Theatre was also a common feature in post-War theater design. These features that advertised the theater were bolder and more distinctive than their earlier counterparts. The 1920s Smith's Theatre's signage is an example of the simpler look of marquees of that earlier era (see page 7, figure 12). It is likely that the exaggerated post-War features were not only a result of prevalent design tastes, but also a reaction to competition from television during these years. The façade also became a billboard to attract passing motorists. The theater's terrazzo floors and modern box office design are also reflective of movie theater design of the 1940s and 1950s.

Integrity Statement

The Sutter Theater was evaluated against the seven aspects of integrity as outlined in the California Register of Historical Resources guidelines. They are location, design, setting, materials, workmanship, feeling, and association.

The evaluated building retains its original location; it has not been moved.

The building was constructed on Plumas Street at a time when this was Yuba City's central commercial downtown district. Since the late 1960s, Colusa Avenue has instead become an important commercial area, with a shopping mall and mini malls. Multiplexes have also taken over as primary destinations for movie going, diminishing the appeal of smaller, older and less state-of-the art theaters. These factors contribute to the fact that the feel and association are no longer related to that of a hustling downtown. In addition, some of the buildings have changed over the decades, with remodeling and changes in store occupants. However, the street retains its overall commercial character and the building retains its original use as a movie theater, although the original single-screen theater has been converted into three screens. Therefore, although somewhat compromised, the building's original setting, feeling and association remain generally intact.

CONTINUATION SHEET

Page 4 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 21, 2006 ☒ Continuation ☐ Update

The evaluated building was constructed in 1950 in a Modern style typical of movie theater architecture at that time. The building's exterior has retained many of its original characteristics, most prominently the original vertical pylon at the façade with the word "Sutter" that projects prominently along Plumas Street. In addition, the building retains its original marquee, box office and terrazzo floor. The interior theater space, however, has been modified to three instead of one screen. Other alterations include the replacement of the entrance doors to the theater and minor alterations to 756 Plumas that involved the removal of the louvered windows above the main entrance and the replacement of original door. Despite these minor changes, the building retains a generally good level of design, materials and workmanship.

Therefore, the evaluated building retains good to excellent integrity.

California Register of Historical Resources Evaluation

The property was assessed under California Register of Historical Resources (CRHR) Criterion 1 for its association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. The Sutter Theater was constructed as a single-screen movie theater located in the heart of Yuba City's downtown Plumas Street district. The building was constructed at a time when this was Yuba City's commercial downtown district. The central and prominent location of this building with its bold signage was indicative of theater design of that era. However, there is no evidence to show that this building did anything other than serve the entertainment needs of the community. It was a typical neighborhood theater. Therefore, this property does not qualify for the CRHR under Criterion 1.

The property was considered under Criterion 2 for its association with the lives of persons important to local, California, or national history. When the evaluated theater building was constructed in 1950, the manager of the new theater was Richard Pennington. By 1953, the theater manager was Raymond T. Butler. However by the following year, Richard Pennington was once again the theater's manager. By 1957, the manager of the theater was Tom Bennet. He would remain as manager of the theater until 1961, when Byron Berkley took over. Research did not identify that these were significant individuals other than in their position as theater managers overseeing the Sutter Theatre. No other names could be identified during the period of significance. Therefore, this property does not qualify for the CRHR under Criterion 2.

The property was evaluated under Criterion 3 for embodying the distinctive characteristics of a type, period, region, or method of construction, or representing the work of a master or possessing high artistic values. The evaluated building was constructed in 1950 in a Modern style. The building exterior has retained many of its original characteristics, most significantly the original vertical pylon at the façade with the word "Sutter" that projects prominently along Plumas Street, as well as the horizontal neon marquee. In addition, the building retains its original box office, terrazzo floor and theater poster display cases. Although the interior theater space has been modified to three instead of one screen, the building exterior has remained intact. The building is a fine example of neighborhood theater design in a Modern style popular with post-World War II theater design. In addition, it is the only such example in Yuba City (although the Smith's Theatre building still stands, the building now houses shops and all of the theater signage has been removed). Therefore, it does embody the distinctive characteristics of a type and period of construction. The property is not, however, the work of a master and does not possess high artistic values. Therefore, this property does qualify for the CRHR under Criterion 3.

The property was considered for Criterion 4 for having yielded, or having the potential to yield, information important to the prehistory or history of the local area, California, or the nation. This is not the case with this property. Therefore, this building does not qualify for the CRHR under Criterion 4.

In summary, *the property appears to qualify for the California Register under Criterion 3*. Therefore, this property is a historical resource for the purposes of the California Environmental Quality Act (CEQA).

CONTINUATION SHEET

Page 5 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 21, 2006

☒ Continuation ☐ Update

*B12. References:

California State Library California Room

Schnabel, R.A. "Panel Discussion: Burt Ullrey, Frank Bremer, Hug Moncur, Arthur Coats, Eugene Boyd, Edmond VonGeldem." *Sutter County Historical Society News Bulletin* (1958): 3-16.

Community Memorial Museum of Sutter County

Barkas, Sherry. "Rooted Deep in the Soil of Yuba-Sutter." *Appeal-Democrat*, 6 April, 1998.

Chamber of Commerce Map, circa 1930.

Coping with Disaster: Voices from the 1955 Flood, Sutter County California. Yuba City, California: Sutter County Heritage Publications, c1995.

Dickey, John. "From the Gold Rush to the Space Race." *Appeal-Democrat*, 21 November, 2004.

"Here's to Our History! In Celebration of Yuba City's 77th Anniversary." Supplement to the *Yuba City Valley Herald*, 23 January, 1985.

Lowe, Jacqueline, Julie Stark and Danae McDougal-Stewart. *Worth Keeping: An Architectural History of Sutter & Yuba Counties, California*. Yuba City & Marysville, California: Community Memorial Museum of Sutter County and Mary Aaron Memorial Museum, c1990.

Map of the City of Yuba Sutter County, no date.

Map of Yuba City, 29 November, 1856.

Marquette, Dick. "Recalling a Few of the Favorite Places..." *The Times of Yuba-Sutter*, 23 January, 1998.

Sutter County Scenic Tour: A Guide to Historical, Cultural and Scenic Points of Interest, Yuba City, California: Community Memorial Museum, revised May 2004.

Thomas Brothers Map of Marysville and Yuba City, 1 November, 1928.

United States Geological Survey Map (Yuba City), 1952 (photo revised 1973).

Various photographs of Bridge and Plumas Streets from circa 1930s to 1955.

Weeks, Steve. "From a Quiet Beginning: Yuba City Celebrates its 75th Year." *Appeal-Democrat*, 1 October, 1983.

"Yuba City 75th Anniversary Edition." *Yuba City Valley Herald*, 19 January, 1983, 1-16.

Yuba City City Directory (1938, 1958).

Los Angeles Public Library (Central Branch)

Yuba City City Directory (1922, 1923, 1925, 1929, 1931-32, 1934, 1936, 1940, 1946, 1953, 1957, 1959-1962, 1968).

CONTINUATION SHEET

Page 6 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 21, 2006

☒ Continuation

☐ Update



Figure 3: View looking northwest at the façade (752 Plumas Street)



Figure 4: View looking northwest at the façade (756 Plumas Street)



Figure 5: View looking northwest at the southeast elevation



Figure 6: View looking northwest at entrance to 752 Plumas Street



Figure 7: View looking northwest at the marguee

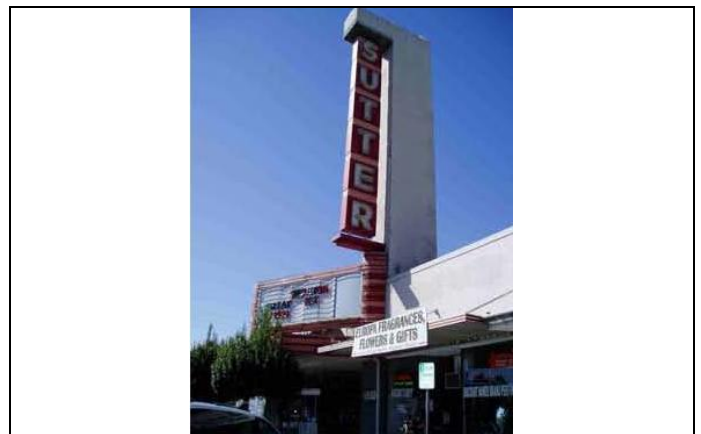


Figure 8: View looking southwest at the pylon sign and marquee

CONTINUATION SHEET

Page 7 of 7

*Resource Name or # (Assigned by recorder) 752, 754, 756 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 21, 2006

☒ Continuation

☐ Update



Figure 9: View looking northwest at the box office



Figure 10: View looking southwest at the theater entrance and terrazzo floor



Figure 11: View looking southwest at the tile-clad surface and movie poster displays near the theater entrance



Figure 12: View looking northwest at the theater entrance soon after December, 1955 flood (Community Memorial Museum of Sutter County)



Figure 13: View looking northwest at the former Smith's Theater at 710 Plumas Street (Community Memorial Museum of Sutter County)

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 758, 760 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ;R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 758, 760 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-016 Previous APN: 01-124-016

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 758, 760 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story commercial building, with Streamline Moderne elements, constructed in circa 1953. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a concrete structural system clad in textured stucco. It is covered by a flat roof clad in rolled composite sheets. There are five windows on the facade. They are asymmetrically spaced and are located on the façade. There are also large sections of the buildings that are made up of glass blocks and in the center there is a metal-sash fixed window with a metal center division. The main entrance for each store is located under a cantilevered overhang, with a ridged molding on the leading edge of the east elevation and consists of a solid wood door, a wood door with a glass window, and a set of wood double doors with windows. Other entrances are located on the west elevation. Decorative elements of this building include a molding with ridges on the outer and upper edge of the building and neon signs from the circa 1950s that extend perpendicularly from the building.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1953, 1953 Yuba City

City Directory

*P7. Owner and Address:

Blanchard Family Trust

13410 Driftwood Court

Penn Valley, CA 95946

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List)

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 758, 760 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: January 6, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind the sidewalk level. There are no visible ancillary buildings on this property. Alterations include the addition of a metal-sash fixed window and the replacement of the original doors. The condition of the building is fair.

The building has Streamline Moderne elements of which the style was popular in California from the 1930s to the 1950s. Typical character-defining features of the style are a smooth stucco surface, rounded edges, minimal use of decorative materials and glass blocks used as windows. This Art Deco-influenced commercial building's character-defining features include stucco exterior cladding, glass block windows and ridged molding on bordering the edge of the building.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

P1. Other Identifier: United States Post Office
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 761 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-251-005 Previous APN: 01-211-005

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 761 Plumas Street in Yuba City, Sutter County. It is on the east side of the street, between Colusa and Teegarden Avenues, approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a two-story United States Post Office (with a basement) constructed in 1939 in a Works Progress Administration (WPA)-era pared-down Classical Revival-style with Spanish Colonial Revival elements. It has a significant addition at the north elevation and a smaller one at the east elevation, both made during the circa 1960s. The entire building has an irregular shaped floor plan and the foundation is concrete. The structural system of the building is reinforced poured concrete. The building is covered by a low-pitched hipped (deck) roof clad with Spanish clay tiles. It has boxed overhanging eaves. The addition has a flat roof clad in rolled composite sheets. The west-facing façade of the original building is symmetrical with seven bays, divided by simple pilasters. The façade of the addition is asymmetrical.

(continued page 3)

*P3b. Resource Attributes: (List attributes and codes) HP14 Government buildingg
*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):
*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



Figure 1

P5b. Description of Photo: (view, date, accession #) View looking southeast at the façade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic
☐ Prehistoric ☐ Both
1939, cornerstone on building

*P7. Owner and Address:
Postal Service
2000 Royal Oaks Drive
Sacramento, CA 95813

*P8. Recorded by: Name, affiliation, and address)
Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: Feb. 17, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

BUILDING, STRUCTURE AND OBJECT RECORD

Page 2 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 17, 2006 ☒ Continuation ☐ Update

B1. Historic Name: United States Post Office (Yuba City, California)

B2. Common Name: Same

B3. Original Use: United States post office

B4. Present Use: Same

Works Progress Administration (WPA) pared-down Classical Revival-style with Spanish Colonial Revival elements

*B5. Architectural Style: (with a Modern style circa 1960s addition)

*B6. Construction History: (Construction date, alterations, and date of alterations)

The evaluated building was constructed in 1939 as part of the Works Progress Administration (WPA) program. An addition was made to the north elevation of the building in circa 1960s.

*B7. Moved? No Original Location:

*B8. Related Features: There is a large asphalt paved parking lot located behind the building.

B9a. Architect: Louis A. Simon (supervising architect) b. Builder: Grover S. Stewart

1) United States Post Office Architecture, 2) History of Downtown Plumas

*B10. Significance: Theme Street Area: Yuba City

Period of Significance: 1939-1961 Property Type: Post office building Applicable Criteria: N/A

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

The evaluated building was constructed in 1939 as Yuba City's United States Post Office. Its supervising architect was Louis A. Simon and the supervising engineer was Neal A. Melick. The builder was Grover S. Stewart of Auburn, California. The Postmaster General at that time was James A. Farley.

The building was constructed as part of the Works Progress Administration (WPA) program. The WPA program was formed by the United States government on May 6, 1935, as part of Franklin D. Roosevelt's New Deal program. It was designed to provide jobs during the Great Depression. By 1938, about 3.3 million people were employed through this program. Their outreach primarily involved public works projects such as road improvements, bridge and roadway construction. However, artists, writers, engineers and architects were also hired. Not only did architects help to design buildings such as this post office, but they also documented landmark buildings throughout the United States through the Historic American Building Survey (HABS) program and its engineering counterpart Historic American Engineering Record (HAER). The head of the newly formed Federal Works Agency at the time the evaluated building was constructed was John M. Carmody. As the Administrator, he supervised the WPA program. He left this position in 1941. The evaluated post office also has a glazed ceramic relief in the main public area that was commissioned through WPA. The WPA program ended in 1943 after World War II ended unemployment problems in the United States.

The city's post office was originally located at 238 Bridge Street, as indicated on the 1890 Sanborn map. It was located at the south side of Bridge between Second and Sutter Streets, near the original downtown area at Second Street. A substation, however, was established at 660 Plumas Street by the 1930s, indicative of the growing centrality of this street. The evaluated post office replaced both buildings.

B11. Additional Resource Attributes (List attributes and codes) None

*B12. References: See page 5

B13. Remarks: None

*B14. Evaluator: Christeen Taniguchi

Galvin Preservation Associates

1611 South Pacific Coast Highway, Suite 104

Redondo Beach, CA 90277

*Date of Evaluation: February 17, 2006



Figure 2: Red box indicates evaluated property on 1998 Yuba City aerial map (TerraServer USA)

CONTINUATION SHEET

Page 3 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 17, 2006 ☒ Continuation ☐ Update

(continued from page 1)

*P3a. Description:

There are thirteen windows on the façade of the original building. They are symmetrically spaced and consist of two-over-one wood-sash single-hung windows. One metal-sash fixed window is located above the front door. Windows on the other elevations are wood-sash single-hung windows and metal-sash single-hung windows. On the original building, concrete steps with a metal railing lead to an elevated principal entrance located at the center of the façade. It consists of steel-framed double glass doors. Two iron original post street lights flank this entrance. The addition has a secondary entrance at the façade, which consists of concrete steps and solid concrete rails and metal handrails; there is also a handicap accessible ramp at this entrance. Other entrances are located on the south and east elevations and consist of steel-framed glass and wooden doors.

There is an unsigned Works Progress Administration (WPA) glazed ceramic relief over the postmaster's office door inside the main public area of the building. The building fronts onto Plumas Street and is set behind a small garden that extends out to the sidewalk level. Landscaping elements include mature trees and small shrubs. There is an asphalt parking lot that runs along the south side of the building. A chain link fence borders the property on the eastern side. There is a flag pole near the principal façade entrance. There are no ancillary buildings on this property. The condition of the building is good.

(continued from page 2)

*B10 Significance:

The first Postmaster of the Yuba City Post Office was Harry E. Meyers and the first Assistant Postmaster was Albert Serviau. By 1944, Adrian A. McMullen was the Postmaster and would remain so until 1954 when Marion E. Underhill took over the position. Underhill retired as Postmaster in 1962. Serviau would serve his position as Assistant Postmaster until 1962 when his title listed in the city directory changed to simply "Post Office employee." This facility is still actively being used as the only Yuba City post office.

Louis A. Simon was originally from Chicago. An example of his work that still exists in that city is the Churriguersque-style Music Box Theatre built in 1929. He then became the supervising architect for several federal buildings from the late 1920s to the 1940s. Many of Simon's government commissions were part of the WPA program. A design that was popular for WPA buildings was a stripped-down Classical Revival style. Features such as symmetrical facades and multiple bays are retained. However, extraneous elements of the traditional Classical Revival style such as columns, dentils, quoins and cresting were eliminated. This was perhaps the result of increasingly Modern and streamlined design tastes, in combination with the frugality demanded by the Depression. Pure examples of this pared-down Classical Revival-style can be seen with Simon's work such as the 1936-40 United States Post Office and Courthouse in Los Angeles and the 1944 Bureau of Citizenship and Immigration Building in San Francisco. The Yuba City post office is also in a pared-down Classical Revival-style, but has been adapted to California tastes with its Spanish Colonial Revival design elements. Other examples of Simon's work include the 1928-36 Internal Revenue Service building in Washington D.C., 1936-38 United States Post Office/Courthouse building in Cincinnati and various 1930s border stations in Vermont. Simon's works are located throughout the United States.

Integrity Statement

The subject building was evaluated against the seven aspects of integrity as outlined in the California Register of Historical Resources guidelines. They are location, design, setting, materials, workmanship, feeling, and association.

The evaluated building retains its original location; it has not been moved.

The Yuba City post office is located in the heart of Plumas Street, Yuba City's historic downtown district. When the post office was constructed in 1939, Plumas Street was in its prime as the center of the city's shopping, entertainment and service needs. It was also during the 1930s that the Fremont Hospital and the Yuba City City Hall were constructed near the post office. Meanwhile, although commercial developments were growing along Plumas there were still scatterings of extant single-family residences. Today, Plumas remains a downtown district, and except for the Teegarden-Mosburg House at 731 Plumas Street, the residences and hospital have been demolished. In the place of these buildings are generally those constructed from the 1960s to the present. The former city hall still exists, but it is now being used as private offices. Therefore, the setting, feel and association remain somewhat the same.

CONTINUATION SHEET

Page 4 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: Feb. 17, 2006 ☒ Continuation ☐ Update

He evaluated building was originally constructed in 1939 as a WPA-era pared-down Classical Revival-style with Spanish Colonial Revival elements. The original building remains generally intact. For example, it retains its WPA-era design elements such as the symmetrical multiple-bay façade, rectangular form, and stripped-down classically-inspired cast iron light posts and handrails. It also retains the Spanish Colonial Revival features of a low-pitched Spanish clay tile-clad roof, smooth stucco clad exterior walls and wood windows that have the appearance of steel casement windows popular with this style. The front doors, however, have been replaced. In addition, a significant Modern style addition was made at the north elevation in the 1960s, with a smaller one made to the rear. The large addition at the north side changed the appearance of the building significantly because it affects the west-facing façade. Therefore, although the material and workmanship of the building remains the same, its design has been compromised.

The integrity of this building is good to fair.

California Register of Historical Resources Evaluation

The property was assessed under California Register of Historical Resources (CRHR) Criterion 1 for its association with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. The evaluated building was constructed in the heart of Plumas Street, Yuba City's historic downtown district. It was built in 1939 at a time when Plumas was still the city's thriving commercial center. This was the post office that served those needs, with a newly-built city hall and city hospital located nearby. The building continues to be the only post office in Yuba City. However, there is no evidence to show that this building did anything other than serve the postal needs of the community. In addition, this was not the first post office. The first was established in the late nineteenth century near Second Street, which was Yuba City's original downtown. Therefore, this property does not qualify for the CRHR under Criterion 1.

The property was considered under Criterion 2 for its association with the lives of persons important to local, California, or national history. The evaluated building has had several Postmasters associated with it. The first was Harry E. Meyers and the Assistant Postmaster was Albert Serviau. Serviau would serve as assistant postmaster until circa 1963. By 1944, Adrian A. McMullen was the Postmaster and would remain so until 1954 when Marion E. Underhill succeeded him. Underhill retired as Postmaster in 1962. Research did not identify that these were significant individuals other than in their position as postmasters overseeing the post office. No other names could be identified during the period of significance. Therefore, this property does not qualify for the CRHR under Criterion 2.

The property was evaluated under Criterion 3 for embodying the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values. The building was originally constructed in 1939 in a WPA-era pared-down Classical Revival-style with Spanish Colonial Revival elements. This core building is generally intact. For example, it retains its WPA-era design elements such as the symmetrical multiple-bay façade, rectangular form, and stripped-down classically-inspired cast iron light posts and handrails. It also retains the Spanish Colonial Revival features of a low-pitched Spanish clay tile-clad roof, smooth stucco-clad exterior walls and wood windows that have the appearance of steel casement windows popular with this style. The front doors, however, have been replaced. In addition, a significant Modern style addition was made to the north elevation during the 1960s. The large addition at the north side changed the appearance of the building significantly because it affects the west-facing façade. Therefore, the building does not embody the distinctive characteristics of a type, period, region, or method of construction. It also does not possess high artistic values. The building's design was supervised by a known architect, Louis A. Simon, who oversaw the construction of several other federal buildings from the late 1920s to the 1940s, often for the WPA program. Other better known and more significant examples of his work include the 1936-40 United States Post Office and Courthouse in Los Angeles and the 1928-36 Internal Revenue Service building in Washington D.C. The evaluated building is not one of the better examples of his work and legacy, and its appearance has also been altered by a significant addition. Therefore, this property does not qualify for CRHR under Criterion 3.

The property was considered for Criterion 4 for having yielded, or having the potential to yield, information important to the prehistory or history of the local area, California, or the nation. This is not the case with this property. Therefore, this building does not qualify for the CRHR under Criterion 4.

In summary, *the property does not appear to qualify for the California Register* under the four Criteria mentioned above. Therefore, this property is not a historical resource for the purposes of the California Environmental Quality Act (CEQA).

CONTINUATION SHEET

Page 5 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update

*B12. References:

California State Library California Room

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<http://w3.gsa.gov> (information on architect Louis A. Simon and "Historic Federal Buildings").

<http://www.fdrlibrary.marist.edu> (information on John M. Carmody, Federal Works Administrator).

www.wikipedia.org (information on the Works Progress Administration).

CONTINUATION SHEET

Page 6 of 8

Primary # _____

HRI _____

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update



Figure 3: View looking northeast at the façade



Figure 4: View looking northeast at the south elevation



Figure 5: View looking northeast at the east side of the south elevation



Figure 6: View looking northwest at the northeast elevation



Figure 7: View looking northeast at the entrance



Figure 8: View looking east at the main entrance to the façade

CONTINUATION SHEET

Page 7 of 8

Primary # _____

HRI _____

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006 ☒ Continuation ☐ Update



Figure 9: View looking southeast at the circa 1960s addition at the northwest elevation of the 1939 building



Figure 10: View looking northeast at the façade entrance to the circa 1960s addition



Figure 11: View looking northeast at the metal letters on the façade of the circa 1960s addition

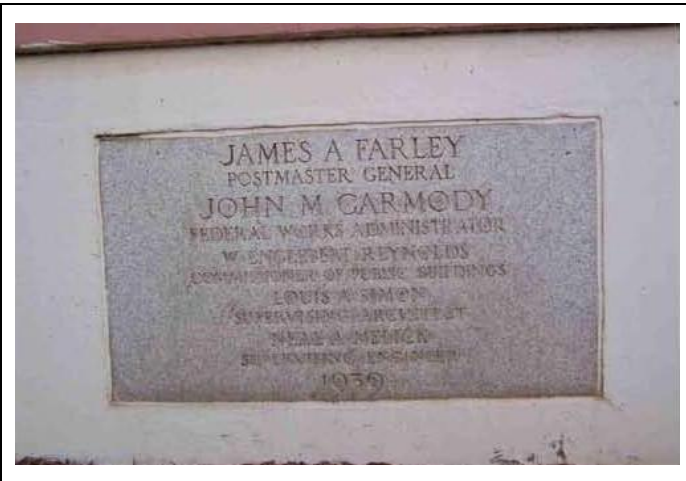


Figure 12: View looking east at the granite cornerstone on the original building



Figure 13: View looking at the glazed ceramic relief over the Postmaster's office door in the interior of the post office



Figure 14: View looking east at the façade just after the December 24, 1955 flood (Community Memorial Museum of Sutter County)

CONTINUATION SHEET

Page 8 of 8

*Resource Name or # (Assigned by recorder) 761 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: Feb. 17, 2006

☒ Continuation

☐ Update

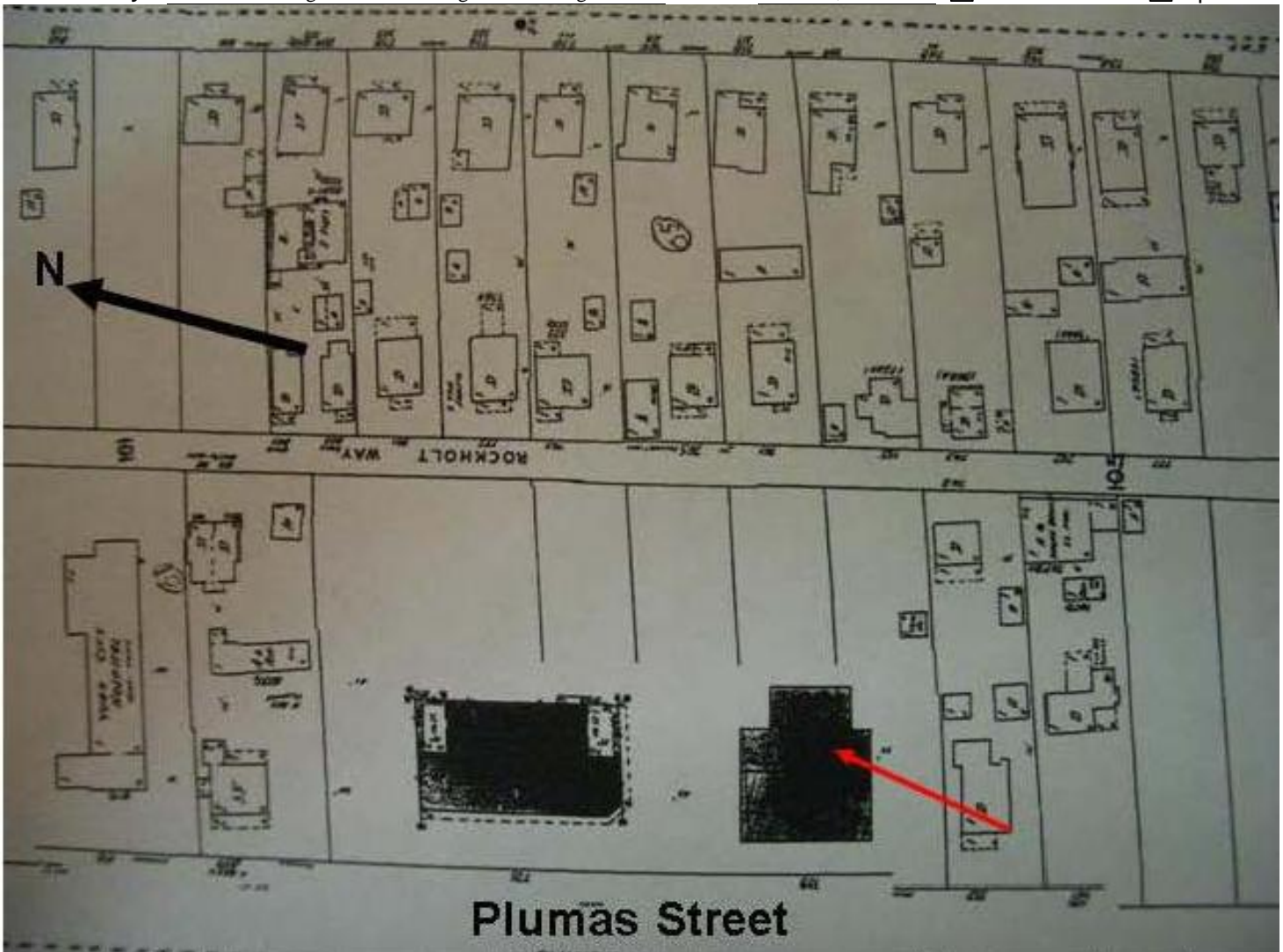


Figure 15: Red arrow points to evaluated building in its original state as shown on a 1945 Sanborn map (ProQuest)

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 764 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 764 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-007 Previous APN: 01-124-007

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 764 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story, mid-century commercial building constructed in 1960. It has a rectangular floor plan and the southeast-facing façade is asymmetrical. The foundation is concrete. The building appears to have a concrete block and steel structural system. The concrete block is exposed and painted. It is covered by a flat roof that appears to be clad in tar paper and rock. There is one window on the façade. It is a metal-sash fixed window located on the south side of the façade. Windows on the other elevations are of floor-length metal-sash fixed windows that extend the width of the northeast elevation. The main entrance is located in the center of the facade and consists of a metal-framed glass door. One other entrance is located on the northeast elevation and consists of a metal-framed glass door. The northeast elevation entrance is sheltered by an angled projected roof that extends the length of the building. Decorative elements of this building include decorative concrete blocks with star cutouts and concrete block planters on the facade. A brass plaque affixed to the upper south corner of the building reads "Annie Walton Bldg. Sept. 1960." The building fronts onto Plumas Street and is set behind a small concrete block flower box that extends out to the sidewalk level. Landscaping elements include small shrubs and ivy. There is an asphalt parking lot that runs along the north and west side of the building. There are no visible ancillary buildings on this property.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southwest at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1960, brass plaque on façade of Building

*P7. Owner and Address:

Gulbranson Trust

475 Windsor Drive

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 764 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Alterations to the building include the replacement of the original façade and northeast elevation doors. The condition of the building is good.

This mid-century commercial building's character-defining features are a rectangular floor plan, a flat roof clad in what appears to be tar paper and rock, an angled and projected roof sheltering the northeast elevation entrance, a metal-sash window extending the width of the northeast elevation and decorative concrete blocks with star cutouts on the northeast elevation.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 778 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 778 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-005 Previous APN: 01-124-005

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 778 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story, mid-century style commercial building which was constructed in circa 1953. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood structural system clad in stucco and partial uncut rubble cladding on the facade. It is covered by a flat roof clad in rolled composite sheets. It has a wide cantilevered overhang that extends the width of the façade as well as a straight-edged parapet. There are three windows on the façade. They are asymmetrically spaced and consist of two metal-sash fixed windows and one smaller rectangular metal-sash fixed window. Windows on the other elevations appear to be metal-sash hopper windows. The main entrance is located in the center of the facade and consists of metal-framed glass double doors. Other entrances are located on the west elevations and consist of metal sliding doors. Decorative elements of this building include uncut rubble cladding on the façade and a double-faced sign extended out perpendicularly from the building on a metal bracket.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

Circa 1953, 1953 Yuba City

City Directory

*P7. Owner and Address:

Linted Family Trust

1529 Lincoln Rd. #11

Yuba City CA 95993

*P8. Recorded by: Name,

affiliation, and address)

Christeen Taniguchi/Laura Gallegos/

Ben Taniguchi

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) 778 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi Date: January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (Continued from page 1)

The building fronts onto Plumas Street and is set behind an asphalt driveway that curves around the front of the building. Landscaping elements include a tree on the city-owned sidewalk. There is an asphalt driveway that runs along the north side of the building. There is an ancillary building located on the eastern end of the property that appears to be a storage facility with a concrete block structural system. Alterations include the attachment of a double-faced sign on the façade. The condition of the building is good.

This mid-century style commercial building's character-defining features include a rectangular floor plan, a flat roof, a cantilevered roof sheltering the façade entrance, uncut rubble cladding on façade and large metal-sash windows.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 1

*Resource Name or # (Assigned by recorder) 816 Plumas Street, Yuba City

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 816 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-003 Previous APN: 01-124-003

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 816 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story vernacular commercial building constructed in 1955. It has a rectangular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building appears to have a wood structural system clad in smooth stucco and vertical thin brick cladding on the façade columns. It is covered by a flat roof clad in rolled composite shingles. The façade is almost entirely made up of floor-length metal-sash fixed windows. A metal-sash fixed window is located above the front door. The main entrance is located in the center of the east elevation and consists of metal-framed glass double doors. The façade's floor is paved with squared red clay tiles. Other entrances are not visible. Decorative elements of this building include vertical thin brick cladding on three columns at the façade and squared red clay tile cladding near the façade entrance. The building fronts onto Plumas Street and is set behind the sidewalk. Landscaping elements include small shrubs. There are no visible ancillary buildings on this property. The building has been altered with the replacement of the façade entrance doors. The condition of the building is good. The character-defining features of this vernacular commercial building are a flat roof, rectangular floor plan, floor-length metal-sash windows and stucco exterior cladding.

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking northwest at the façade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic
☐ Prehistoric ☐ Both
1955, Sutter County Assessor's Office

*P7. Owner and Address:
Daniel and Nan Jacuzzi
437 Century Park Dr. Ste. B
Yuba City, CA 95991

*P8. Recorded by: Name, affiliation, and address)
Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

PRIMARY RECORD

Primary # _____
HRI _____
Trinominal # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 820 Plumas Street, Yuba city

P1. Other Identifier: none
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 820 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; mE/ _____ mN _____
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-002 Previous APN: 01-124-002

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 820 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. It is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat. This building is a one-story vernacular commercial building constructed in 1955. The building shares the same property as 822 Plumas Street. It has an irregular floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a concrete block and wood structural system with an exterior clad in painted concrete blocks. It is covered by a flat roof clad in rolled composite sheets. There are three windows on the façade. They are asymmetrically spaced and consist of two metal-sash fixed windows and one metal-sash fixed window above the main entry door. Windows on the other elevations are metal-sash fixed windows. The main entrance is located at an angle on the corner of the northeast elevation and consists of a metal-framed glass door with sidelights; the main entrance is sheltered by a wraparound cantilevered overhang clad in narrow ribbed metal sheets. All windows and doors, with the exception of one window, have narrow metal strips for a security alarm system. One other entrance is located on the north elevation and consists of a wooden door. Decorative elements of this building include a cantilevered overhang extending the width of the façade and over the windows on the northern façade.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking southwest at the north elevation
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic ☐ Prehistoric ☐ Both
1955, Sutter County Assessor's office

*P7. Owner and Address: Dietzel Family Trust
PO Box 32
Yuba City, CA 95992

*P8. Recorded by: Name, affiliation, and address) Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy. Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

***Resource Name or #** (Assigned by recorder) 820 Plumas Street, Yuba City

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi **Date:** January 6, 2006 ☒ Continuation ☐ Update

***P3a. Description:** (continued from page 1)

Thin decorative bricks are present beneath all windows and on the wall that is shared between 820 and 810 Plumas Street. The building fronts onto Plumas Street and is set behind the sidewalk. There is an asphalt parking lot that runs along the north side of the building. There are no visible ancillary buildings on this property. Alterations include the replacement of some of the original windows. The condition of the building is fair.

Character-defining features of this vernacular commercial building are a concrete block and wood structural system, large metal-sash fixed windows, a wraparound cantilevered overhang clad in narrow ribbed metal sheets, a flat roof and thin brick cladding on the base of the north and southeast elevations.

PRIMARY RECORD

Primary # _____
HRI _____
Trinomial # _____
NRHP Status Code _____
Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 822, 824 Plumas Street, Yuba City

P1. Other Identifier: 926 Plumas Street (as indicated on a 1945 Sanborn map)
*P2. Location: ☐ Not for Publication ☒ Unrestricted *a. County Sutter
and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)
*b. USGS 7.5' Quad Yuba City Date 1993 T _____ ; R _____ ; % of _____ % of Sec _____ ; B.M. _____
c. Address 822, 824 Plumas Street City Yuba City Zip 95991
d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN
e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) APN: 52-164-002 Previous APN: 01-124-002

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The evaluated building is located at 822, 824 Plumas Street in Yuba City, Sutter County. It is on the west side of Plumas Street between Church Street and Colusa Avenue. The building is approximately one mile east of Hwy 99 and 0.5 miles west of the Sutter-Yuba County border. The topography of the area is flat.

This building is a one-story, vernacular commercial building constructed in 1933. It has an irregular U-shaped floor plan and the east-facing façade is asymmetrical. The foundation is concrete. The building has a wood-framed structural system clad in smooth stucco and thin decorative bricks. It is covered by a low-pitched hipped roof clad in rolled composite sheets. It has open, overhanging eaves with exposed rafters. The commercial building has one chimney located on the southern section of the property. There are two windows on the façade. They are asymmetrically spaced and consist of two wood-sash fixed windows located on the façade of the U-shaped building. There are three windows on the façade. They are asymmetrically spaced and consist of two metal-sash fixed windows and one metal-sash fixed window above the front door. Windows on the other elevations are wood-sash single-hung windows. There are six entrances located on the east elevation which consist primarily of wood-framed doors with rectangular glass, however there is a plain wood door and a metal and glass door to the southeast facing the entrance to 820 Plumas Street. Decorative elements of this building include a rectangular sign above the northern part of the building and thin decorative bricks on the lower half of the northern façade.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP6 1-3 story commercial building

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the façade
December 12, 2005

*P6. Date Constructed/Age and Sources: ☒ Historic
☐ Prehistoric ☐ Both
1933, Sutter County Assessor's Office

*P7. Owner and Address:
Dietzel Family Trust
PO Box 32
Yuba City, CA 95992

*P8. Recorded by: Name, affiliation, and address)
Christeen Taniguchi/Laura Gallegos/
Ben Taniguchi
Galvin Preservation Associates Inc.
1611 S. Pacific Coast Hwy, Suite 104
Redondo Beach CA, 90277

*P9. Date Recorded: January 6, 2006

*P10. Survey Type: (Describe)
☐ Intensive
☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Historical Resource Compliance Report (HRCR) for the Plumas Street Improvements Project from Colusa Avenue (Hwy 20) to B Street, Yuba City, Sutter County (GPA 2006)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record
☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record
☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

822, 824 Plumas Street, Yuba City

***Resource Name or #** (Assigned by recorder) _____

Recorded By: Christeen Taniguchi/Laura Gallegos/ Ben Taniguchi

Date: January 6, 2006

☒ Continuation

☐ Update

***P3a. Description:** (continued from page 1)

The building fronts onto Plumas Street and is set behind an asphalt parking lot. There are no visible ancillary buildings on this property. Alterations include the replacement of some of the original doors and windows. The condition of the building is fair to poor.

This vernacular commercial building's character-defining features include are a U-shaped floor plan, hipped roof clad, textured stucco cladding, partial thin brick cladding on the base of the façade and wood and metal-sash windows on the façade.

PRIMARY RECORD

Primary # _____

HRI _____

Trinomial # _____

NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 2

*Resource Name or # (Assigned by recorder) 1154 Plumas Street, Yuba City

P1. Other Identifier: _____

*P2. Location: ☐ Not for Publication ☐ Unrestricted *a. County Sutter

and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

*b. USGS 7.5' Quad _____ Date _____ T _____ ; R _____ ; _____ % of _____ % of Sec _____ ; B.M. _____

c. Address 1154 Plumas Street City Yuba City Zip 95991

d. UTM: (Give more than one for large and/or linear resources) Zone _____ ; _____ mE/ _____ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN: N/A

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This single-family residence on Plumas Street at the corner of Bird Street in Yuba City was constructed in 1919 in the Tudor Revival style with Classical Revival elements. The building is near the front of the parcel on the northwest corner of Plumas and Bird Streets facing east.

This one-and-a-half-story residence has a rectangular floor plan. The façade is asymmetrical and the building sits on a concrete foundation. The residence has a wood-framed structural system and is clad with smooth stucco and half timbering. It is covered by a moderately-pitched side-clipped-gabled roof clad in composition shingles with an intersecting shed roof above the main entrance. The moderately-overhanging eaves are boxed. A brick chimney is located on the south gable wall.

(continued page 2)

*P3b. Resource Attributes: (List attributes and codes) HP2. Single family property

*P4. Resources Present: ☒ Building ☐ Structure ☐ Object ☐ Site ☐ District ☐ Element of District ☐ Other (Isolates, etc.):

*P5a. Photograph or Drawing (Photograph required for buildings, structures or objects)



P5b. Description of Photo: (view, date, accession #) View looking west at the east façade, July 18, 2006

*P6. Date Constructed/Age and

Sources: ☒ Historic

☐ Prehistoric ☐ Both

1919, Sutter County Assessor

*P7. Owner and Address:

Leah Ramsey

1154 Plumas Street

Yuba City, CA 95991

*P8. Recorded by: Name,

affiliation, and address)

Laura Gallegos

Galvin Preservation Associates Inc.

1611 S. Pacific Coast Hwy. Suite 104

Redondo Beach CA, 90277

*P9. Date Recorded: April, 2006

*P10. Survey Type: (Describe)

☐ Intensive

☒ Reconnaissance

*P11. Report Citation: (Cite survey report and other sources, or enter "none.") Sutter County Historic Survey (Galvin Preservation Associates, 2005-2007)

*Attachments: NONE ☐ Location Map ☐ Sketch Map ☒ Continuation Sheet ☐ Building, Structure & Object Record

☐ Archaeological Record ☐ District Record ☐ Linear Feature Record ☐ Milling Station Record ☐ Rock Art Record

☐ Artifact Record ☐ Photographic Record ☐ Other (List) _____

CONTINUATION SHEET

Page 2 of 2

*Resource Name or # (Assigned by recorder) Plumas and Bird Streets, Yuba City

Recorded By: Laura Gallegos

Date: April, 2006

☒ Continuation

☐ Update

(continued from page 1)

***P3a. Description:**

The primary entry is at the façade within an arched recessed entryway that is sheltered by an arched stucco cornice with a crest located south of the entrance. The main entry door consists of a wood paneled door with multi-light Palladian windows surrounding the door. Two sets of stairs, facing north and south, lead to the front entrance. The steps and landing are concrete and the balustrade consists of thick turned wood posts. Other entrances could not be observed.

There are several windows on the façade. A ribbon of three windows is north of the main entrance; a ribbon of five windows is to the south. They consist of wood casement windows with six panes topped by fixed windows with two panes. Two single windows are located directly above the entrance and they appear to consist of four-over-four double-hung wood-sash windows. Windows on the other elevations appear to be wood casement windows.

Landscaping elements include a front lawn, a mature tree, hedges, and shrubs. Other features include a concrete walkway leading from the sidewalk to each staircase at the main entrance and a concrete driveway on the northern section of the parcel leading to a carport.

Alterations to the building were not noted. The condition of the building is excellent.